

# Houma-Terrebonne Regional Planning Commission

L. A. "Budd" Cloutier, O.D.....	Chairman
W. Alex Ostheimer.....	Vice-Chairman
Angi Falgout.....	Secretary/Treasurer
Joseph Cehan, Jr.....	Member
James A. Erny.....	Member
Jeremy Kelley.....	Member
Keith Kurtz.....	Member
Wayne Thibodeaux.....	Member

**JULY 21, 2016, THURSDAY**

**6:00 P.M.**

**TERREBONNE PARISH COUNCIL MEETING ROOM**  
**Government Tower, 8026 Main Street, 2<sup>nd</sup> Floor**

**A • G • E • N • D • A**

**I. CONVENE AS THE ZONING AND LAND USE COMMISSION**

**A. INVOCATION & PLEDGE OF ALLEGIANCE**

**B. ROLL CALL**

**C. CONFLICTS DISCLOSURE**

**D. APPROVAL OF MINUTES:**

1. Approval of Minutes of Zoning and Land Use Commission for the Regular Meeting of June 16, 2016

**E. COMMUNICATIONS**

**F. PUBLIC HEARING:**

1. Rezone from R-1 (Single-Family Residential) & R-3 (Multi-Family Residential) to C-3 (Neighborhood Commercial) Proposed Lots 2, 3, 4, 5, 6, 7, & 8, Cameron Isles Business Park Unit 1; Linton Road Company, LLC, applicant (*Council Districts 2 & 3*)

**G. NEW BUSINESS:**

1. Parking Plan:
  - a) Creation of 92 parking spaces, Harbor Freight Tools; 2197 Martin Luther King Boulevard; Royal Seal Development, Inc., applicant (*Council District 3*)
2. Preliminary Hearing:
  - a) Rezone from R-1 (Single-Family Residential) to R-2 (Two-Family Residential) Proposed Lots 1-7, Block 5 and Lots 1-7, Block 6, Townhomes of Deroche Estates; Deroche Development, LLC, applicant; and call a Public Hearing on said matter for Thursday, August 18, 2016 at 6:00 p.m. (*Council District 5*)

**H. STAFF REPORT**

1. *Public Hearing*  
Discussion and possible action with regards to revisions to the R-1 zoning district regulations as it relates to residential accessory dwelling units and animal & poultry husbandry
2. *Public Hearing*  
Discussion and possible action with regards to revisions to the C-1 zoning district regulations

**I. COMMISSION COMMENTS:**

1. Planning Commissioners' Comments
2. Chairman's Comments

**J. PUBLIC COMMENTS**

**K. ADJOURN**

**II. CONVENE AS THE REGIONAL PLANNING COMMISSION**

**A. INVOCATION & PLEDGE OF ALLEGIANCE**

**B. ROLL CALL**

**C. CONFLICTS DISCLOSURE**

**D. ACCEPTANCE OF MINUTES:**

1. Houma-Terrebonne Regional Planning Commission Minutes for the Regular Meeting of June 16, 2016

**E. APPROVE EMITTENCE OF PAYMENT FOR THE JULY 21, 2016 INVOICES AND TREASURER'S REPORT OF JUNE 2016**

1. Presentation of the 2015 Annual Audit for ratification and acceptance

**F. COMMUNICATIONS**

**G. OLD BUSINES:**

1. a) Subdivision: Division of Tract 3 into Tract 3-1 and Tract 3-2 belonging to Corridor Properties, L.L.C.  
Approval Requested: Process D, Minor Subdivision  
Location: 5040 West Main Street, Terrebonne Parish, LA  
Government Districts: Council District 4 / Bayou Cane Fire District  
Developer: Corridor Properties, LLC  
Surveyor: Leonard Chauvin P.E., P.L.S., Inc.  
  
b) Public Hearing  
c) Consider Approval of Said Application

**H. APPLICATIONS:**

1. a) Subdivision: Cameron Isles, Phase II  
Approval Requested: Proces C, Major Subdivision-Conceptual & Preliminary  
Location: Westside Boulevard Extension, Terrebonne Parish, LA  
Government Districts: Council District 2 & 6 / Bayou Cane Fire District  
Developer: Linton Road Company, LLC  
Surveyor: Delta Coast Consultants, LLC  
  
b) Public Hearing  
c) Consider Approval of Said Application
2. a) Subdivision: Lots 1-A & 1-B, A Redivision of Revised Lot 1, Block 1, Add. No. 3 to Woodlawn Ranch Acres  
Approval Requested: Process D, Minor Subdivision  
Location: 3792 & 3802 LA Hwy. 56, Terrebonne Parish, LA  
Government Districts: Council District 8 / City of Houma Fire District  
Developer: Lyle Enterprises, LLC  
Surveyor: Keneth L. Rembert Land Surveyors  
  
b) Public Hearing  
c) Consider Approval of Said Application
3. a) Subdivision: Townhomes of Deroche Estates  
Approval Requested: Process D, Minor Subdivision  
Location: DeRusso Street, Terrebonne Parish, LA  
Government Districts: Council District 5 / Bayou Cane Fire District  
Developer: Deroche Development, LLC  
Engineer: Milford & Associates, Inc.  
  
b) Public Hearing  
c) Consider Approval of Said Application
4. a) Subdivision: Lots D-1 & D-2, A Redivision of Lot 1, Block 1, North Terrebonne Commercial Park  
Approval Requested: Process D, Minor Subdivision  
Location: 3369 Lilac Drive, Terrebonne Parish, LA  
Government Districts: Council District 2 / Schriever Fire District  
Developer: Annie 1, LLC  
Engineer: Milford & Associates, Inc.  
  
b) Public Hearing  
c) Consider Approval of Said Application

5. a) Subdivision: Division of Property belonging to Cavco Investments, LLC into Tract A, Tract B, and Tract C  
Approval Requested: Process D, Minor Subdivision  
Location: 104 Pasture Lane, Terrebonne Parish, LA  
Government Districts: Council District 2 & 4 / Schriever Fire District  
Developer: Cavco Investments, LLC  
Surveyor: Leonard Chauvin P.E., P.L.S., Inc.
  - b) Public Hearing
  - c) Consider Approval of Said Application
6. a) Subdivision: De Fraites Drive (Extension)  
Approval Requested: Process C, Major Subdivision-Engineering (Road Project)  
Location: De Fraites Drive, Terrebonne Parish, LA  
Government Districts: Council District 1 / City of Houma Fire District  
Developer: Arthur A. De Fraites, Jr. & John M. De Fraites  
Engineer: Providence/GSE Associates, LLC
  - b) Consider Approval of Said Application
7. a) Subdivision: Sugar Mill Olde Towne, Addendum No. 2  
Approval Requested: Process C, Major Subdivision-Final  
Location: Intersection of Rue St. Sydney & Rue Saia, Terrebonne Parish, LA  
Government Districts: Council District 6 / City of Houma Fire District  
Developer: Rutter Land Co., Inc.  
Engineer: David A. Waitz Engineering & Surveying, Inc.
  - b) Consider Approval of Said Application

#### **I. STAFF REPORT**

#### **J. ADMINISTRATIVE APPROVALS:**

1. Revised Lots 3 & 4, Glen Oaks Subdivision, Section 102, T17S-R17E, Terrebonne Parish, LA
2. Revised Lots 2 & 3 of Block 3, Terrebonne Plaza Subdivision, Section 9, T16S-R17E, Terrebonne Parish, LA
3. Revised Tracts "A", "B", and "C", Property of S & A Capital Investments, LLC, Sections 7 & 8, T16S-R17E, Terrebonne Parish, LA
4. Revised Parcels II and III, Property belonging to Michael J. Duplantis, et al; Sections 14, 15, & 16, T17S-R17E, Terrebonne Parish, LA
5. Lot Extensions within Block 3 of Addendum No. 1 to Fred LeBouef Subdivision, Section 143, T15S-R16E, Terrebonne Parish, LA
6. Revised Lots 4, 5, & 6, Block 12 of Mulberry Estates Subdivision, Phase "C", Section 104, T17S-R17E, Terrebonne Parish, LA
7. Revised Tracts A1 thru A4 belonging to RJLS, LLC, Section 84, T15S-R16E, Terrebonne Parish, LA
8. Revised Lots 16 and 18, Block 2, Phase 1 to Northpark, Section 6, T16S-R17E, Terrebonne Parish, LA
9. Revised Lots 14, 16, & 17, A Redivision of Lots 14, 15, 16, & 17, Block 3 to Colonial Acres Subdivision, Sections 4 & 94, T17S-R17E, Terrebonne Parish, LA

#### **K. COMMITTEE REPORT:**

1. Subdivision Regulations Review Committee:
  - a) *Public Hearing*  
Discussion and possible action with regard to modifications to the Storm Drainage Design Manual as it pertains to mobile home parks

#### **L. COMMISSION COMMENTS:**

1. Planning Commissioners' Comments
2. Chairman's Comments

#### **M. PUBLIC COMMENTS**

#### **N. ADJOURN**

**MINUTES**  
**HOUMA-TERREBONNE REGIONAL PLANNING COMMISSION (HTRPC)**  
**MEETING OF JUNE 16, 2016**

- A. The Chairman, Dr. L.A. “Budd” Cloutier, Jr., called to order the regular meeting of June 16, 2016 of the Houma-Terrebonne Regional Planning Commission (HTRPC) at 6:28 p.m. in the Terrebonne Parish Council Meeting Room with the Invocation led by him and the Pledge of Allegiance led by Mr. Joey Cehan. Dr. Cloutier prayed especially for Commissioner Gerald Schouest’s family and friends; Mr. Schouest passed away on June 13, 2016.
- B. Upon Roll Call, present were: Mr. Joseph Cehan, Jr.; Dr. L.A. “Budd” Cloutier, Jr., Chairman; Mr. James Erny; Mrs. Angi Falgout; Mr. Jeremy Kelley; Mr. Alex Ostheimer, Vice Chairman; and Mr. Wayne Thibodeaux. Absent at the time of Roll Call was: Mr. Keith Kurtz. Also present were Mr. Christopher Pulaski, Director, Department of Planning & Zoning, and Laddie Freeman, Legal Advisor.
- C. **CONFLICTS DISCLOSURE:** The Chairman reminded the Commissioners that if at any time tonight, a conflict of interest exists, arises or is recognized, as to any issue during this meeting, he or she should immediately disclose it, and is to recuse himself or herself from participating in the debate, discussion, and voting on that matter.

*The Chairman recognized Councilman Darrin Guidry in the audience.*

- D. **ACCEPTANCE OF MINUTES:**
1. Mr. Erny moved, seconded by Mrs. Falgout: “THAT the HTRPC accept the minutes, as written, for the Regional Planning Commission for the regular meeting of May 19, 2016.”
- The Chairman called for a vote on the motion offered by Mr. Erny. **THERE WAS RECORDED: YEAS:** Mr. Cehan, Mr. Erny, Mrs. Falgout, Mr. Kelley, Mr. Ostheimer, and Mr. Thibodeaux; **NAYS:** None; **ABSTAINING:** Dr. Cloutier; **ABSENT:** Mr. Kurtz. **THE CHAIRMAN DECLARED THE MOTION ADOPTED.**
- E. Mrs. Falgout moved, seconded by Mr. Kelley: “THAT the HTRPC emit payment for the June 16, 2016 invoices and approve the Treasurer’s Report of May 2016.”
- The Chairman called for a vote on the motion offered by Mrs. Falgout. **THERE WAS RECORDED: YEAS:** Mr. Cehan, Mr. Erny, Mrs. Falgout, Mr. Kelley, Mr. Ostheimer, and Mr. Thibodeaux; **NAYS:** None; **ABSTAINING:** Dr. Cloutier; **ABSENT:** Mr. Kurtz. **THE CHAIRMAN DECLARED THE MOTION ADOPTED.**
1. No one from Stagni & Company, LLC was at the meeting to present the audit.
- a) Mrs. Falgout moved, seconded by Mr. Thibodeaux: “THAT the HTRPC table the acceptance and approval of the 2015 Annual Audit by Stagni & Company, LLC until the next regular meeting of July 21, 2016.”
- The Chairman called for a vote on the motion offered by Mrs. Falgout. **THERE WAS RECORDED: YEAS:** Mr. Cehan, Mr. Erny, Mrs. Falgout, Mr. Kelley, Mr. Ostheimer, and Mr. Thibodeaux; **NAYS:** None; **ABSTAINING:** Dr. Cloutier; **ABSENT:** Mr. Kurtz. **THE CHAIRMAN DECLARED THE MOTION ADOPTED.**
- F. **COMMUNICATIONS:**
1. Mr. Pulaski read a letter from Leonard Chauvin, P.E., P.L.S., Inc. dated June 16, 2016 requesting to table Item G.2 with regard to Tracts 3-1 & 3-2 of Corridor Properties, LLC until the next regular meeting of July 21, 2016 [See *ATTACHMENT A*].
- a) Mrs. Falgout moved, seconded by Mr. Kelley: “THAT the HTRPC table the application for Process D, Minor Subdivision, for the Division of Tract 3 into Tract 3-1 and Tract 3-2 belonging to Corridor Properties, LLC until the next regular meeting of July 21, 2016 as per the Developer’s request [See *ATTACHMENT A*].”
- The Chairman called for a vote on the motion offered by Mrs. Falgout. **THERE WAS RECORDED: YEAS:** Mr. Cehan, Mr. Erny, Mrs. Falgout, Mr. Kelley, Mr. Ostheimer, and Mr. Thibodeaux; **NAYS:** None; **ABSTAINING:** Dr. Cloutier; **ABSENT:** Mr. Kurtz. **THE CHAIRMAN DECLARED THE MOTION ADOPTED.**
2. Mr. Pulaski read a letter from Leonard Chauvin, P.E., P.L.S. dated June 16, 2016 requesting to withdraw Item G3 with regard to Tracts A, B, C, Property belonging to Cavco Investments, LLC from the agenda [See *ATTACHMENT B*].

- a) Mrs. Falgout moved, seconded by Mr. Ostheimer: “THAT the HTRPC withdraw the application for Process D, Minor Subdivision, for Tracts A, B, C, Property belonging to Cavco Investments, LLC as per the Developer’s request [See *ATTACHMENT B*].”

The Chairman called for a vote on the motion offered by Mrs. Falgout. THERE WAS RECORDED: YEAS: Mr. Cehan, Mr. Erny, Mrs. Falgout, Mr. Kelley, Mr. Ostheimer, and Mr. Thibodeaux; NAYS: None; ABSTAINING: Dr. Cloutier; ABSENT: Mr. Kurtz. THE CHAIRMAN DECLARED THE MOTION ADOPTED.

G. APPLICATIONS:

- 1. The Chairman called to order a Public Hearing for an application by Arthur A. DeFraités & John M. DeFraités requesting conceptual & preliminary approval for Process C, Major Subdivision, for DeFraités Drive (Extension).

- a) Mr. Terral Martin, Providence/GSE Associates, Inc., representing the applicant, discussed the location and the street extension.
- b) No one from the public was present to speak.
- c) Mr. Kelley moved, seconded by Mrs. Falgout: “THAT the Public Hearing be closed.”

The Chairman called for a vote on the motion offered by Mr. Kelley. THERE WAS RECORDED: YEAS: Mr. Cehan, Mr. Erny, Mrs. Falgout, Mr. Kelley, Mr. Ostheimer, and Mr. Thibodeaux; NAYS: None; ABSTAINING: Dr. Cloutier; ABSENT: Mr. Kurtz. THE CHAIRMAN DECLARED THE PUBLIC HEARING CLOSED.

- d) Mr. Pulaski discussed the Staff Report and the request for the variance. He stated Staff would recommend conceptual & preliminary approval along with approval of the variance request.
- e) Discussion was held with regard to the variance and a 60’ servitude only needed for open ditches but less when curb and gutter. Discussion ensued with regard to an agreement with Walmart to access property fronting its parking lot for a proposed strip center and DeFraités Drive acting as a service road.
- f) The Chairman recognized Mr. John DeFraités who clarified the road would be utilized as a service road.
- g) Mr. Ostheimer moved, seconded by Mr. Erny: “THAT the HTRPC grant the variance based on the verbiage that says when an existing street is added or joins it should conform with existing street or design in 24.7.6.1.4 conditioned that they get this thing straight about this section of the street that appears to not exist but it abuts.”
- h) Mr. DeFraités indicated the Parish Administration requested that piece of the street to be added onto the existing right-of-way and gave them 270 days to repair the existing road. Mr. Martin stated he would revise the plat to show that portion of the roadway.

The Chairman called for a vote on the motion offered by Mr. Ostheimer. THERE WAS RECORDED: YEAS: Mr. Cehan, Mr. Erny, Mrs. Falgout, Mr. Kelley, Mr. Ostheimer, and Mr. Thibodeaux; NAYS: None; ABSTAINING: Dr. Cloutier; ABSENT: Mr. Kurtz. THE CHAIRMAN DECLARED THE MOTION ADOPTED.

- 2. WITHDRAWN. *Division of Tract 3 into Tract 3-1 and Tract 3-2 belonging to Corridor Properties, L.L.C.* [See *ATTACHMENT A*]
- 3. WITHDRAWN. *Division of Property belonging to Cavco Investments, LLC into Tract A, B, & C* [See *ATTACHMENT B*]
- 4. The Chairman stated the next item on the agenda under Applications was an application by Linton Road Company, LLC requesting conceptual approval for Process C, Major Subdivision, for the Master Plan for Cameron Isles Subdivision.
  - a) Mr. Robert Aiello, 300 Benton Road, Bossier City, Developer, discussed the Master Plan.
  - b) The Chairman indicated the matter was not up for Public Hearing but would allow those present to speak.

- c) The Chairman recognized Barry Hutchinson, 206 Ouiski Bayou, who expressed concerns of flooding in their neighborhood and submitted a petition of resident's requesting the Commission to reject and/or delay all proposals or requests for any additional development in or along Highway 311, Enterprise, and Westside Boulevard Extension until a plan, funding, engineering, and land are secured for a pump station.
- d) The Chairman indicated that historically new developments have helped existing subdivisions with drainage.
- e) The Chairman recognized Corey Matranga, 115 Ouiski Bayou Drive, who stated he can't cut grass in his backyard because it is always saturated with water.
- f) The Chairman recognized Chris Wasson, 4638 Highway 311, who expressed concerns of traffic and delivery truck access along Highway 311. The Chairman stated they have also expressed their desire to not have any driveways coming off of Highway 311 and all access should be off of Westside Boulevard where the development is being constructed. He stated while they have no control, they have made it clear to the Developer.
- g) The Chairman recognized Councilman Guidry, 113 Krumbhaar Drive, District 6, who spoke of flooding issues in the surrounding neighborhood. He indicated that Bayou Black was dredged to help drainage but a pump station had never been built. He stated they currently have a permit and only needed a location, engineering, and money to proceed. He stated the pump station has to be located where the permit was attained for and Mr. Aiello has agreed to revise his plat to depict the property for the proposed pump station.
- h) Ms. Schexnayder stated the pump station is designed and they just needed the location.
- i) Mr. Pulaski discussed the Staff Report and stated Staff recommended conditional approval provided the MPO performed a preliminary traffic study and the applicant provides the Terrebonne Parish Engineering Division with preliminary drainage report associated with the proposed drainage plan improvements.
- j) Discussion was held with regard to previous rezoning of the property off of Highway 311 and concerns of the connection to the roundabout and cars turning left onto Westside Boulevard out of the residential subdivision.
- k) Mr. Ostheimer moved, seconded by Mr. Erny: "THAT the HTRPC grant conceptual approval for Process C, Master Plan, for Cameron Isles Subdivision conditioned the MPO performs a preliminary traffic study and the applicant provides the Terrebonne Parish Engineering Division with preliminary drainage report associated with the proposed drainage plan improvements."
- l) Discussion ensued with regard to the desire of the Commission that no driveways be constructed off of Highway 311.

The Chairman called for a vote on the motion offered by Mr. Ostheimer. THERE WAS RECORDED: YEAS: Mr. Cehan, Mr. Erny, Mrs. Falgout, Mr. Kelley, Mr. Ostheimer, and Mr. Thibodeaux; NAYS: None; ABSTAINING: Dr. Cloutier; ABSENT: Mr. Kurtz. THE CHAIRMAN DECLARED THE MOTION ADOPTED.

- 5. The Chairman called to order a Public Hearing for an application by Linton Road Company, LLC requesting preliminary approval for Process C, Major Subdivision, for Cameron Isles Business Park Unit 1.
  - a) Mr. Robert Aiello, 300 Benton Road, Bossier City, Developer, discussed the preliminary approval request. He indicated this road will take the pressure off of 311 because he doesn't think any business will want to spend the money for a bridge to access 311. He also stated they were going to discharge drainage on the low side of the pump and shouldn't affect Ouiski Bayou and possibly help their situation.
  - b) The Chairman requested the location of the proposed pump station be on both the preliminary plat as well as the Master Plan.
  - c) No one from the public was present to speak.
  - d) Mr. Thibodeaux moved, seconded by Mr. Cehan: "THAT the Public Hearing be closed."

The Chairman called for a vote on the motion offered by Mr. Thibodeaux. THERE WAS RECORDED: YEAS: Mr. Cehan, Mr. Erny, Mrs. Falgout, Mr. Kelley, Mr. Ostheimer, and Mr. Thibodeaux; NAYS: None; ABSTAINING: Dr. Cloutier; ABSENT: Mr. Kurtz. THE CHAIRMAN DECLARED THE PUBLIC HEARING CLOSED.

- e) Mr. Pulaski discussed the Staff Report and stated Staff would recommend conditional approval provided all utility letters were submitted to our office.

The Chairman called for a vote on the motion offered by Mr. Pulaski. THERE WAS RECORDED: YEAS: Mr. Cehan, Mr. Erny, Mrs. Falgout, Mr. Kelley, Mr. Ostheimer, and Mr. Thibodeaux; NAYS: None; ABSTAINING: Dr. Cloutier; ABSENT: Mr. Kurtz. THE CHAIRMAN DECLARED THE MOTION ADOPTED.

- 6. The Chairman stated the next item on the agenda under was an application by Mark Guidroz requesting final approval for Process B, Mobile Home Park, for Bon Villa Mobile Home Park.

- a) Ms. Schexnayder, on behalf of the Terrebonne Parish Engineering Division, read a memo dated June 16, 2016 concerning the punch list items for the development [See *ATTACHMENT C*]
- b) Mr. Mark Guidroz, Developer, stated all the items were complete. Ms. Schexnayder indicated they haven't made their final re-inspection yet. He stated he would comply/resolve all items on the punch list.
- c) Mr. Erny moved, seconded by Mrs. Falgout: "THAT the HTRPC grant final approval of the application for Process B, Mobile Home Park, for Bon Villa Mobile Home Park conditioned upon the Developer complying/resolving all punch list items per the Terrebonne Parish Engineering Division's memo dated June 16, 2016 [See *ATTACHMENT C*]."

The Chairman called for a vote on the motion offered by Mr. Erny. THERE WAS RECORDED: YEAS: Mr. Cehan, Mr. Erny, Mrs. Falgout, Mr. Kelley, and Mr. Thibodeaux; NAYS: None; ABSTAINING: Dr. Cloutier & Mr. Ostheimer; ABSENT: Mr. Kurtz. THE CHAIRMAN DECLARED THE MOTION ADOPTED.

#### H. STAFF REPORT:

- 1. Per the Chairman's request, the Minute Clerk indicated that all Commissioners had completed the annual Ethics Training Course as required by the State Legislature for 2016.

#### I. ADMINISTRATIVE APPROVALS:

Mr. Kelley moved, seconded by Mr. Erny: "THAT the HTRPC acknowledge for the record the following Administrative Approvals 1-6."

- 1. Redivision of Lots 116, 117, & 118 of Southern Comfort Waterfront Community, Section 37, T20S-R17E, Terrebonne Parish, LA
- 2. Resubdivision of Lots 16 & 17, Block 8, Southern Estates Subdivision, Addendum No. 2 into Tract 17-A, Section 69, T16S-R17E, Terrebonne Parish, LA
- 3. Survey of Tracts "A" & "B", A Redivision of Property belonging to Pat M. Olivier, Section 11, T16S-R16E, Terrebonne Parish, LA
- 4. Survey of Revised Tracts "A" & "B", Redivision of Property belonging to Robyn Paul Gonsoulin, et al, Sections 6, 7, 28, & 29, T18S-R19E, Terrebonne Parish, LA
- 5. Survey of Tract "E" & Revised Lot 1, Block 1, Add. #3 to Woodlawn Ranch Acres, Sections 6 & 19, T17S-R18E, Terrebonne Parish, LA
- 6. Resubdivision of Lot 4 of Block 2 of Rebecca Phase 2 First Filing Subdivision into Lot 4 & Lot 5 located within Rebecca Plantation, Sections 10 & 11, T16S-R16E, Terrebonne Parish, LA

The Chairman called for a vote on the motion offered by Mr. Kelley. THERE WAS RECORDED: YEAS: Mr. Cehan, Mr. Erny, Mrs. Falgout, Mr. Kelley, Mr. Ostheimer, and Mr. Thibodeaux; NAYS: None; ABSTAINING: Dr. Cloutier; ABSENT: Mr. Kurtz. THE CHAIRMAN DECLARED THE MOTION ADOPTED.

J. COMMITTEE REPORT:

1. Subdivision Regulations Review Committee:

- a) Mr. Pulaski discussed the recent discussions to include the C-1 zoning district and accessory dwelling units that were discussed at the Zoning meeting. He stated that estate lots and the S.D.D.M. as it pertains to mobile home park regulations were still being discussed. He stated Clay Breaud with Providence/GSE had provided an initial review of his proposal and was currently wrapping it up for the next committee meeting. Dr. Cloutier recommended the matter be included on the next regular meeting agenda as a Public Hearing.
- b) The Chairman requested Administration to call a vet to about inquire “quiet” chickens and whether the aforementioned discussion on chickens in residential districts should exclude chickens or just roosters.

K. COMMISSION COMMENTS:

1. Planning Commissioners’ Comments:

- a) Mr. Ostheimer passed out an article to the Commissions regarding a house fire in Gheens where the adjacent property owners’ homes were also burned. The adjacent property owners were filing a lawsuit against the waterworks district due to an incorrectly sized water main and caused the adjacent properties to catch fire as well. He requested Mr. Freeman to keep up with the lawsuit to determine if an entity has an obligation to make sure a proposed buyer can know if a variance was granted for a particular property prior to purchasing.

2. Chairman’s Comments: None.

L. PUBLIC COMMENTS: None.

M. Mrs. Falgout moved, seconded Mr. Kelley: “THAT there being no further business to come before the Houma-Terrebonne Regional Planning Commission, the meeting be adjourned at 7:40 p.m.”

The Chairman called for a vote on the motion offered by Mrs. Falgout. THERE WAS RECORDED: YEAS: Mr. Cehan, Mr. Erny, Mrs. Falgout, Mr. Kelley, Mr. Ostheimer, and Mr. Thibodeaux; NAYS: None; ABSTAINING: Dr. Cloutier; ABSENT: Mr. Kurtz. THE CHAIRMAN DECLARED THE MOTION ADOPTED.

*Becky M. Becnel, Minute Clerk  
Houma-Terrebonne Regional Planning Commission*



# Houma-Terrebonne Regional Planning Commission

P.O. Box 1446, Houma, Louisiana 70361  
Ph. (985) 873-6793 - Fax (985) 580-8141

## APPLICATION SUBDIVISION OF PROPERTY

### APPROVAL REQUESTED:

- A. ☐ Raw Land  
☐ Re-Subdivision  
C. ☐ Major Subdivision  
☐ Conceptual  
☐ Preliminary  
☐ Engineering  
☐ Final
- B. ☐ Mobile Home Park  
☐ Residential Building Park  
☐ Conceptual/Preliminary  
☐ Engineering  
☐ Final  
D. ☒ Minor Subdivision

☐ Variance(s) (detailed description):

### THE FOLLOWING MUST BE COMPLETE TO ENSURE PROCESS OF THE APPLICATION:

1. Name of Subdivision: SURVEY SHOWING A DIVISION OF TRACT 3 INTO TRACT 3-1 & TRACT 3-2 BELONGING TO CORRIDOR PROPERTIES, LLC LOCATED IN SEC. 7, T16S-R17E
2. Developer's Name & Address: CORRIDOR PROPERTIES, LLC, 604 N. ACADIA ROAD, STE. 101, THIB. 70301  
\*Owner's Name & Address: CORRIDOR PROPERTIES, LLC 604 N. ACADIA ROAD STE. 101, THIB. 70301  
[\* All owners must be listed, attach additional sheet if necessary]
3. Name of Surveyor, Engineer, or Architect: LEONARD J. CHAUVIN JR.

### SITE INFORMATION:

4. Physical Address: 5040 WEST MAIN ST. HOUMA, LA 70360
5. Location by Section, Township, Range: SECTION 7, T16S - R17E
6. Purpose of Development: CREATE 2 LOTS
7. Land Use:  
☐ Single-Family Residential  
☐ Multi-Family Residential  
☒ Commercial  
☐ Industrial
8. Sewerage Type:  
☐ Community  
☒ Individual Treatment  
☐ Package Plant  
☐ Other
9. Drainage:  
☐ Curb & Gutter  
☒ Roadside Open Ditches  
☐ Rear Lot Open Ditches  
☐ Other
10. Date and Scale of Map: MAY 25, 2016 1" = 50'
11. Council District: DISTRICT 4 - SCOTTY DRYDEN / Bayou Cane Fire
12. Number of Lots: 2
13. Filing Fees: FILING FEE \$296 CERTIFIED \$45.43 47.18

I, LEONARD J. CHAUVIN JR., certify this application including the attached data to be true and correct.

LEONARD J. CHAUVIN JR.  
Print Applicant or Agent

[Signature]  
Signature of Applicant or Agent

Date 5/21/16

The undersigned certifies: [Signature] 1) That he/she is the owner of the entire land included within the proposal, and concurs with the Application, or [Signature] 2) That he/she has submitted with this Application a complete, true and correct listing of all of the owners of the entire land included within the proposal, that each of the listed owners concur with this Application, and that he/she has been given specific authority by each listed owner to submit and sign this Application on their behalf.

CLARISSE WAGUESPACK  
Print Name of Signature

[Signature]  
Signature

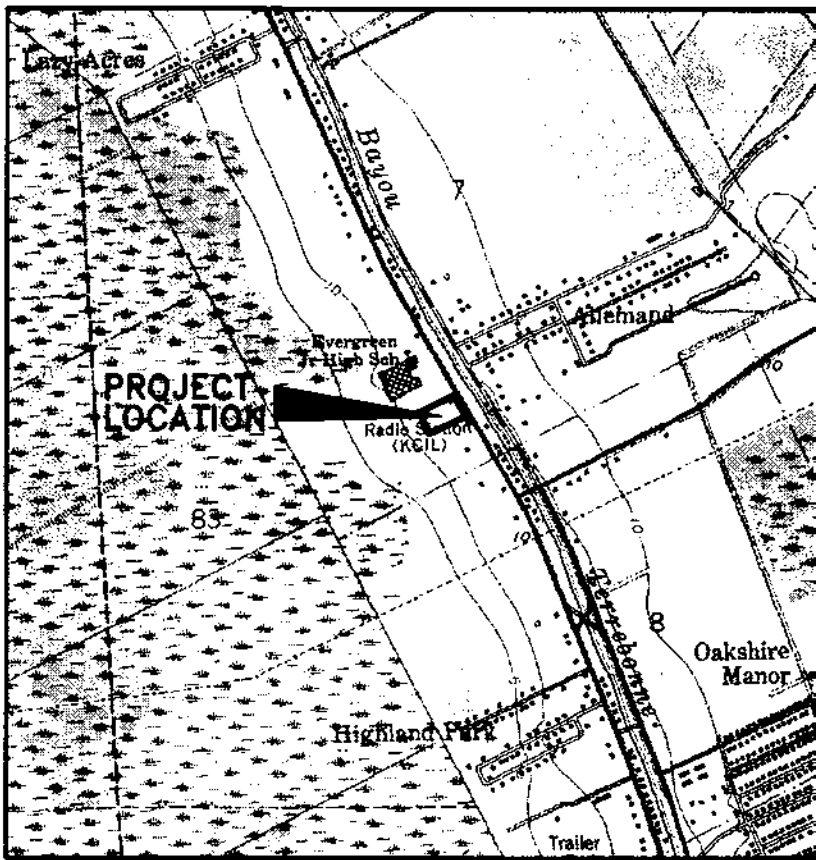
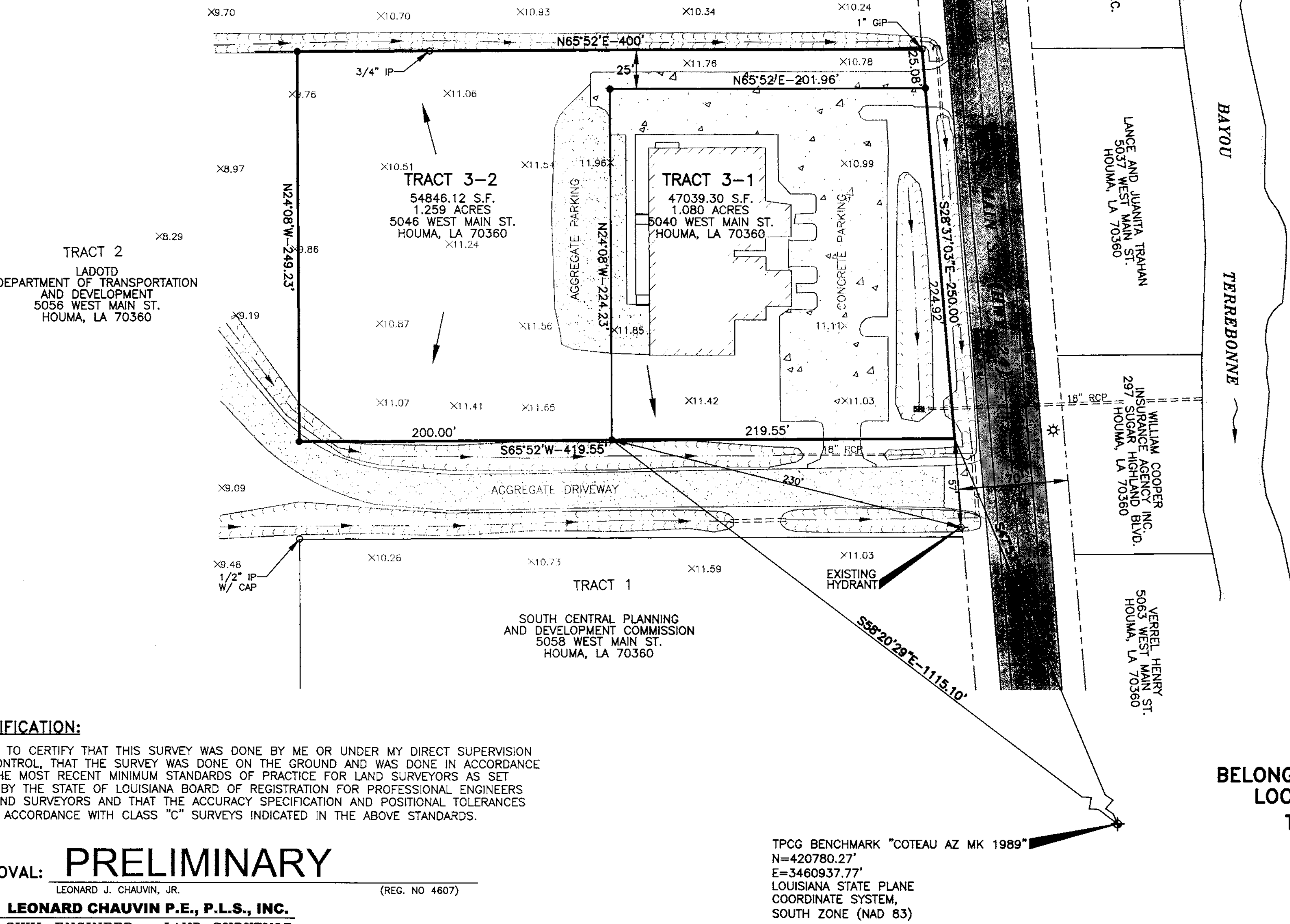
Date 5/26/2016

Revised 3/25/2010

PC16/ 6 - 2 - 13

NOTES:

1. REFERENCE MAPS AND BEARINGS:
- A.) "MAP SHOWING THE REDIVISION OF PROPERTY BELONGING TO ROUSE / CANDIES INVESTMENT, L.L.C. LOCATED IN SECTION 7 T16S-R17E TERREBONNE PARISH, LOUISIANA" PRPARED BY: CHARLES L. McDONALD LAND SURVEYOR, INC. DATED: AUGUST 28, 1998
2. FIRM MAP 225206 0410 C DATED, MAY 1, 1985 INDICATES PROPERTY TO BE LOCATED IN ZONE C AREAS OF MINIMAL FLOODING.
3. ABFE MAP #LA-T101 INDICATES PROPERTY TO BE OUTSIDE THE LIMITS OF STUDY. DATE OF EVENT: SEPTEMBER 24, 2005 DATE OF MAP: FEBRUARY 23, 2006
4. STORMWATER FROM TRACT 3-1 AND TRACT 3-2 FLOWS OVERLAND AND INTO DITCHES THAT DRAIN TO AN 18" RCP CROSSING WEST MAIN ST. AND INTO BAYOU TERREBONNE.
5. LAND USE: COMMERCIAL
6. METHOD OF SEWER DISPOSAL: PRIVATELY MAINTAINED SEWERAGE TREATMENT PLANT.



VICINITY MAP  
1"=2000'

LEGEND

- FOUND AS NOTED
- PROPERTY MARKER TO BE SET
- ⊕ EXISTING FIRE HYDRANT
- ⊛ POWER POLE WITH LIGHT
- ⊞ EXISTING CATCH BASIN
- ⊞ SPOT ELEVATION
- ⊞ EXISTING DITCH
- ⊞ EXISTING DRAIN PIPE
- OVERLAND DRAINAGE DIRECTION

APPROVALS:

APPROVED & ACCEPTED THIS DATE \_\_\_\_\_

BY THE HOUMA-TERREBONNE REGIONAL PLANNING COMMISSION

BY \_\_\_\_\_

FOR \_\_\_\_\_

SURVEY SHOWING

A DIVISION OF TRACT 3 INTO  
TRACT 3-1 AND TRACT 3-2  
BELONGING TO CORRIDOR PROPERTIES, L.L.C.  
LOCATED IN SECTION 7, T16S- R17E  
TERREBONNE PARISH, LOUISIANA

MAY 26, 2016

SEWER NOTE ADDED JULY 1, 2016



CERTIFICATION:

IS TO CERTIFY THAT THIS SURVEY WAS DONE BY ME OR UNDER MY DIRECT SUPERVISION CONTROL, THAT THE SURVEY WAS DONE ON THE GROUND AND WAS DONE IN ACCORDANCE THE MOST RECENT MINIMUM STANDARDS OF PRACTICE FOR LAND SURVEYORS AS SET 4 BY THE STATE OF LOUISIANA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS LAND SURVEYORS AND THAT THE ACCURACY SPECIFICATION AND POSITIONAL TOLERANCES IN ACCORDANCE WITH CLASS "C" SURVEYS INDICATED IN THE ABOVE STANDARDS.

PRELIMINARY

LEONARD J. CHAUVIN, JR. (REG. NO 4607)

LEONARD CHAUVIN P.E., P.L.S., INC.  
CIVIL ENGINEER - LAND SURVEYOR  
627 JACKSON ST. THIBODAUX, LA.  
PHONE: (985) 449-1376



# Houma-Terrebonne Regional Planning Commission

P.O. Box 1446, Houma, Louisiana 70361  
Ph. (985) 873-6793 - Fax (985) 580-8141

## APPLICATION SUBDIVISION OF PROPERTY

### APPROVAL REQUESTED:

- A. ☐ Raw Land  
☐ Re-Subdivision
- B. ☐ Mobile Home Park  
☐ Residential Building Park
- C. ☒ Major Subdivision  
☒ Conceptual  
☒ Preliminary  
☐ Engineering  
☐ Final
- D. ☐ Minor Subdivision  
☐ Conceptual/Preliminary  
☐ Engineering  
☐ Final

☐ Variance(s) (detailed description): \_\_\_\_\_

### THE FOLLOWING MUST BE COMPLETE TO ENSURE PROCESS OF THE APPLICATION:

1. Name of Subdivision: Cameron Isles Phase II
2. Developer's Name & Address: Linton Road Company LLC, 300 Benton Road Bossier City LA 71111  
\*Owner's Name & Address: Linton Road Company LLC, 300 Benton Road Bossier City LA 71111  
[\* All owners must be listed, attach additional sheet if necessary]
3. Name of Surveyor, Engineer, or Architect: Delta Coast Consultants, LLC

### SITE INFORMATION:

4. Physical Address: Westside BLVD. Extension
5. Location by Section, Township, Range: Sections 31, 32, and 101 T17S-17E
6. Purpose of Development: Single-Family Residential Subdivision
7. Land Use:  
☒ Single-Family Residential  
☐ Multi-Family Residential  
☐ Commercial  
☐ Industrial
8. Sewerage Type:  
☒ Community  
☐ Individual Treatment  
☐ Package Plant  
☐ Other
9. Drainage:  
☒ Curb & Gutter  
☐ Roadside Open Ditches  
☐ Rear Lot Open Ditches  
☐ Other
10. Date and Scale of Map: June 28, 2016, Scale 1:100
11. Council District: 2 and 6 / Bayou Cane Fire
12. Number of Lots: 60
13. Filing Fees: \$128.92

I, Benjamin Elliott, P.E., certify this application including the attached date to be true and correct.

Benjamin Elliott, P.E.

Print Applicant or Agent

Date

6/29/2016

[Signature]  
Signature of Applicant or Agent

The undersigned certifies: initial 1) That he/she is the owner of the entire land included within the proposal, and concurs with the Application, or BDE 2) That he/she has submitted with this Application a complete, true and correct listing of all of the owners of the entire land included within the proposal, that each of the listed owners concur with this Application, and that he/she has been given specific authority by each listed owner to submit and sign this Application on their behalf.

Benjamin Elliott, P.E.

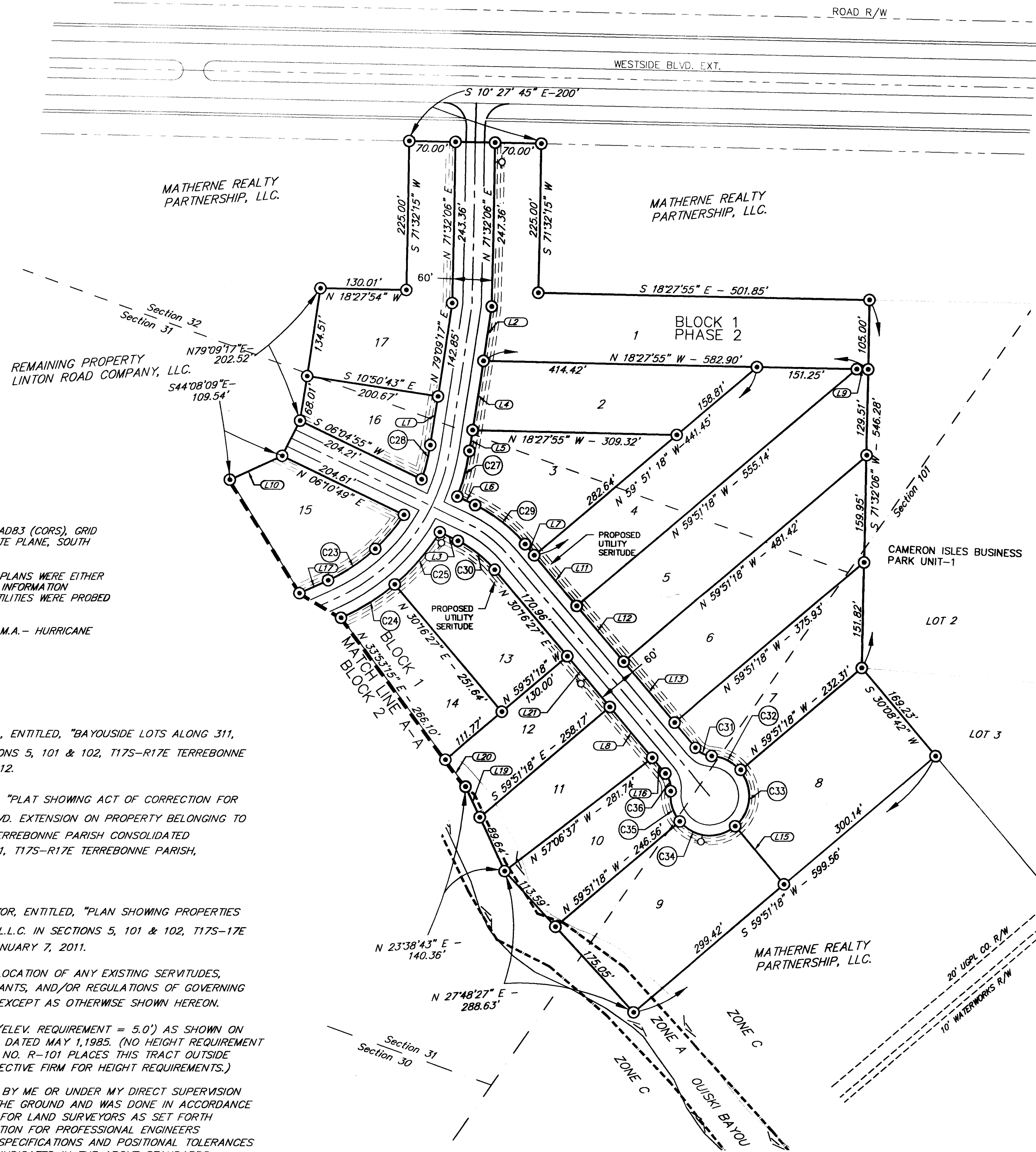
Print Name of Signature

Date

6/29/2016

[Signature]  
Signature

PC16/ 7 - 1 - 18



NOTES:

- 1. THE HORIZONTAL DATUM FOR THIS SURVEY IS NAD83 (CORS). GRID COORDINATES ARE PROVIDED AS LOUISIANA STATE PLANE, SOUTH ZONE (1702), IN U.S. SURVEY FEET.
- 2. ALL UNDERGROUND UTILITIES SHOWN ON THESE PLANS WERE EITHER LOCATED USING L.A. ONE CALL, OR FROM G.I.S. INFORMATION PROVIDED BY OWNERS. NONE OF THE BURIED UTILITIES WERE PROBED OR EXPOSED FOR THIS SURVEY.
- 3. THESE TRACTS ARE NOT LOCATED WITH THE F.E.M.A. - HURRICANE RITA A.B.F.E. REVISED FLOOD ZONES.
- 4. DEVELOPER: LINTON ROAD COMPANY, LLC
- 5. PROPOSED LAND USE: RESIDENTIAL

REFERENCE MAP:

PLAT PREPARED BY MILFORD & ASSOCIATES, INC., ENTITLED, "BAYOUSIDE LOTS ALONG 311, MATHERNE REALTY PARTNERSHIP, L.L.C. IN SECTIONS 5, 101 & 102, T17S-R17E TERREBONNE PARISH, LOUISIANA.", AND DATED JANUARY 5, 2012.

PLAT PREPARED BY PROVIDENCE/ GSE, ENTITLED, "PLAT SHOWING ACT OF CORRECTION FOR PROPOSED DONATION OF LAND FOR WESTSIDE BLVD. EXTENSION ON PROPERTY BELONGING TO MATHERNE REALTY, L.L.C. TO BE ACQUIRED BY TERREBONNE PARISH CONSOLIDATED GOVERNMENT LOCATED IN SECTIONS 31, 32, & 101, T17S-R17E TERREBONNE PARISH, LOUISIANA.", AND DATED JUNE 19, 2013.

REFERENCE BEARING MAP:

PLAT PREPARED BY KENETH L. REMBERT, SURVEYOR, ENTITLED, "PLAN SHOWING PROPERTIES BELONGING TO MATHERNE REALTY PARTNERSHIP, L.L.C. IN SECTIONS 5, 101 & 102, T17S-17E TERREBONNE PARISH, LOUISIANA.", AND DATED JANUARY 7, 2011.

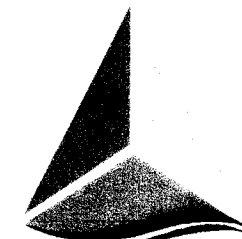
THIS SURVEY DOES NOT PURPORT TO SHOW THE LOCATION OF ANY EXISTING SERVITUDES, EASEMENTS, RIGHTS-OF-WAY, RESTRICTIVE COVENANTS, AND/OR REGULATIONS OF GOVERNING AUTHORITIES WHICH MAY AFFECT SAID PROPERTY EXCEPT AS OTHERWISE SHOWN HEREON.

THIS PROPERTY IS LOCATED IN ZONES C AND A2 (ELEV. REQUIREMENT = 5.0') AS SHOWN ON THE FEMA MAP COMMUNITY PANEL 225206 0430C, DATED MAY 1,1985. (NO HEIGHT REQUIREMENT FOR ZONES C). FEMA 2006 RITA ADVISORY PANEL NO. R-101 PLACES THIS TRACT OUTSIDE OF THE A.B.F.E. LIMITS (REFER TO COMMUNITY EFFECTIVE FIRM FOR HEIGHT REQUIREMENTS.)

THIS IS TO CERTIFY THAT THIS SURVEY WAS DONE BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL, THAT THE SURVEY WAS DONE ON THE GROUND AND WAS DONE IN ACCORDANCE WITH THE MOST RECENT STANDARDS OF PRACTICE FOR LAND SURVEYORS AS SET FORTH BY THE STATE OF LOUISIANA, BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THAT THE ACCURACY SPECIFICATIONS AND POSITIONAL TOLERANCES ARE IN ACCORDANCE WITH URBAN AREA SURVEYS INDICATED IN THE ABOVE STANDARDS.

APPROVED: \_\_\_\_\_

PROSPER J. TOUPS, III  
LA. LAND SURVEYOR REG. NO. 4967

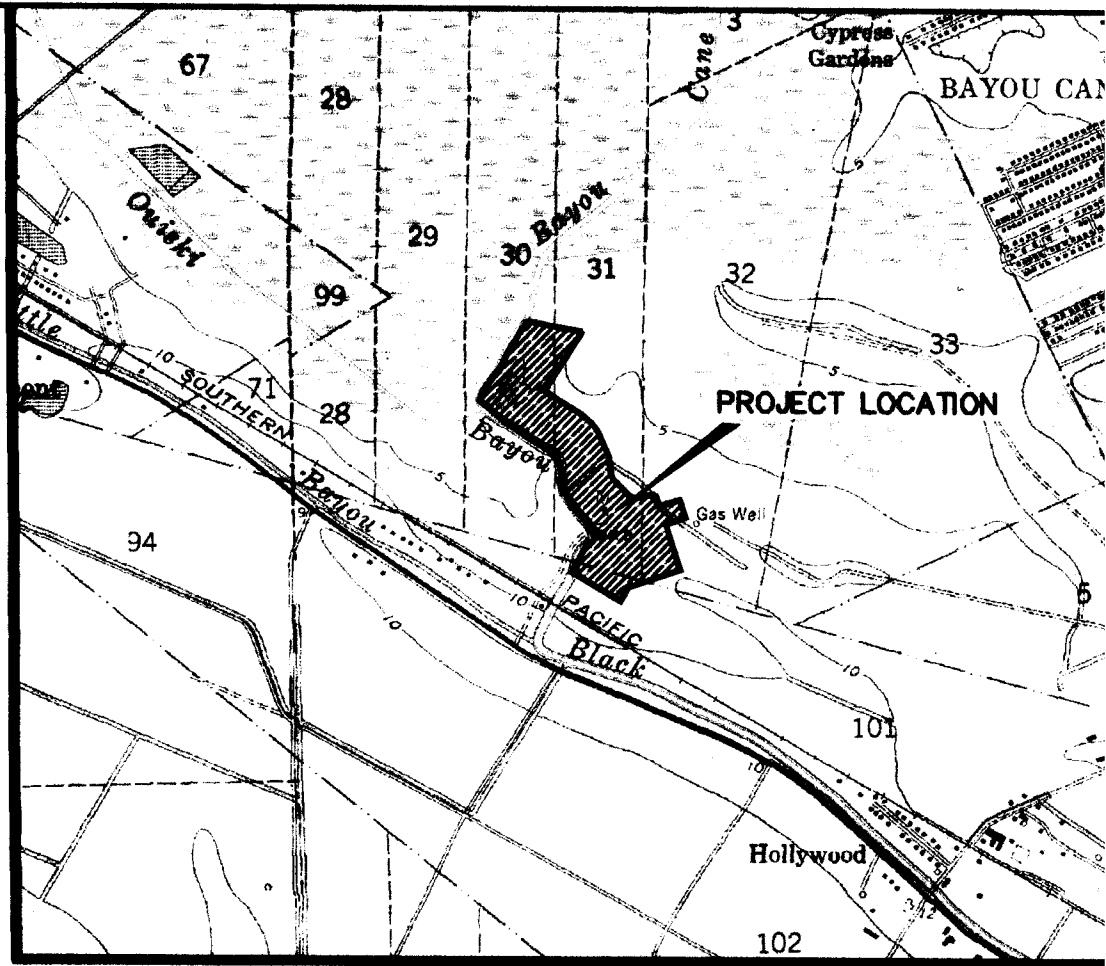


DELTA COAST  
CONSULTANTS, LLC

4924 HWY 311 - HOUMA, LA 70360  
PHONE: 985-655-3100 www.deltacoastllc.com FAX: 985-262-4567

LEGEND

- EXISTING POWERPOLE
- FOUND 3/4" IRON PIPE
- FOUND 5/8" IRON PIPE
- 3/4" IRON PIPE TO BE SET UPON APPROVAL
- FIRE HYDRANT
- R/W LINE
- SERVITUDE
- WATERLINE
- FEMA ZONE



VICINITY MAP

SCALE: 1" = 2,000'

LINE TABLE	
LINE #	BEARING & DIST.
L1	N79° 09' 17"E - 74.14
L2	S79° 09' 17"W - 83.38
L3	N06° 12' 05"E - 30.37
L4	S79° 09' 17"W - 105.94
L5	S79° 09' 17"W - 31.72
L6	S06° 12' 05"W - 29.79
L7	S30° 16' 27"W - 21.99
L8	N30° 16' 27"E - 100.00
L9	N18° 27' 55"W - 17.24
L10	N44° 08' 09"W - 61.67
L11	S30° 16' 27"W - 100.00
L12	S30° 16' 27"W - 110.00
L13	S30° 16' 27"W - 120.00
L14	S30° 16' 27"W - 49.62
L15	N30° 08' 42"E - 114.90
L16	N30° 16' 27"E - 30.65
L17	S44° 08' 09"E - 47.63
L18	S45° 19' 33"W - 89.64
L19	S45° 19' 33"W - 50.72
L20	S33° 53' 15"W - 51.16
L21	N30° 16' 27"E - 100.00

BLOCK 1 LOT TABLE	
LOT #	ACREAGE
1	1.75
2	0.87
3	0.79
4	1.14
5	1.33
6	1.18
7	0.86
8	1.13
9	1.15
10	0.66
11	0.58
12	0.57
13	0.75
14	0.61
15	0.66
16	0.45
17	1.04

CURVE TABLE			
CURVE #	CHORD BEARING & DIST.	RADIUS	ARC LENGT
C23	S53°15'45"E - 85.65'	270.0'	86.02'
C24	S51°31'58"E - 95.98'	332.2'	96.32'
C25	S68°56'45"E - 104.17'	330.0'	104.61'
C26	S70°25'22"E - 59.42'	269.1'	59.54'
C27	N85°20'51"E - 71.20'	330.0'	71.34'
C28	N83°06'47"E - 29.15'	270.0'	29.16'
C29	N18°14'16"E - 95.93'	230.0'	96.63'
C30	N18°14'16"E - 70.90'	170.0'	71.43'
C31	S06°51'39"W - 27.82'	35.0'	28.60'
C32	N07°20'25"E - 48.63'	60.1'	50.07'
C33	N75°42'04"E - 84.03'	60.0'	93.08'
C34	S14°51'18"E - 84.85'	60.0'	94.25'
C35	S53°37'22"W - 47.81'	60.0'	49.17'
C36	N53°41'15"E - 27.82'	35.0'	28.60'

APPROVED AND ACCEPTED THIS DATE \_\_\_\_\_

BY THE HOUMA - TERREBONNE REGIONAL PLANNING COMMISSION

BY \_\_\_\_\_ FOR \_\_\_\_\_

DATE: 6/28/16  
"PRELIMINARY PLAT"  
PRELIMINARY PLAT OF CAMERON ISLES PHASE 2  
LOCATED IN SECTIONS 31, 32, AND 101 T17S-R17E  
TERREBONNE PARISH, LOUISIANA.



LEGEND

- EXISTING POWERPOLE
- FOUND 3/4" IRON PIPE
- FOUND 5/8" IRON PIPE
- 3/4" IRON PIPE TO BE SET UPON APPROVAL
- FIRE HYDRANT
- R/W LINE
- SERITUDE
- WATERLINE
- FEMA ZONE

Curve Table			
Curve #	CHORD BEARING & DIST.	Radius	ARCLength
C1	S03°16'08"W - 60.85'	60.0'	63.82'
C2	S64°27'19"W - 61.38'	59.8'	64.45'
C3	N56°41'15"W - 56.42'	60.0'	58.74'
C4	N01°34'53"E - 60.50'	60.0'	63.41'
C5	N62°19'37"E - 60.85'	60.0'	63.82'
C6	S40°17'52"W - 95.20'	60.0'	109.96'
C7	S64°42'08"E - 95.20'	60.0'	109.96'
C8	S01°57'08"E - 21.34'	269.7'	21.34'
C9	S45°21'04"E - 80.57'	355.0'	80.74'
C10	S32°20'15"E - 80.35'	355.0'	80.52'
C11	S43°54'14"E - 135.71'	295.0'	136.94'
C12	S26°43'00"E - 40.02'	295.0'	40.05'
C13	S16°19'34"E - 80.47'	330.2'	80.67'
C14	S15°15'17"E - 71.17'	270.0'	71.37'
C15	S03°02'31"E - 77.19'	369.0'	77.33'
C16	S02°40'48"E - 47.08'	270.0'	47.14'
C17	S04°01'20"E - 72.93'	330.0'	73.08'
C18	S37°43'36"E - 73.67'	330.0'	73.83'
C19	S20°50'31"E - 120.00'	330.0'	120.67'
C20	S26°17'48"E - 83.81'	268.5'	84.16'
C21	S39°44'12"E - 41.77'	268.5'	41.82'

BLOCK 2		
LOT TABLE		
LOT #	ACREAGE	
1	0.36	
2	0.34	
3	0.33	
4	0.34	
5	0.77	
6	0.79	
7	0.68	
8	0.79	

BLOCK 3		
LOT TABLE		
LOT #	ACREAGE	
1	0.46	
2	0.40	
3	0.40	
4	0.40	
5	0.44	
6	0.48	
7	0.62	
8	0.64	
9	0.68	
10	0.69	

BLOCK 4		
LOT TABLE		
LOT #	ACREAGE	
1	0.39	
2	0.39	
3	0.39	
4	0.39	
5	0.39	
6	0.65	
7	0.65	
8	0.66	
9	1.80	

BLOCK 5		
LOT TABLE		
LOT #	ACREAGE	
1	0.67	
2	0.98	
3	1.10	
4	0.76	
5	0.72	
6	0.76	
7	0.74	
8	1.08	
9	1.80	
10	0.76	
11	0.36	
12	0.39	
13	0.39	
14	0.39	
15	0.39	
16	0.39	

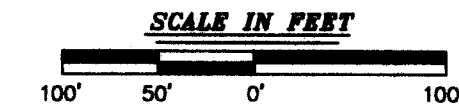
APPROVED AND ACCEPTED THIS DATE \_\_\_\_\_

BY THE HOUMA - TERREBONNE REGIONAL PLANNING COMMISSION

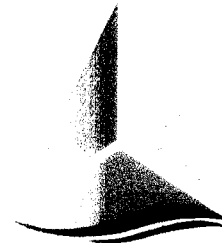
BY \_\_\_\_\_ FOR \_\_\_\_\_

DATE: 6/28/16

"PRELIMINARY PLAT"  
PRELIMINARY PLAT OF CAMERON ISLES PHASE 2  
LOCATED IN SECTIONS 31, 32, AND 101 T17S-R17E  
TERREBONNE PARISH, LOUISIANA.



FILE: P:\2016\2016.050\DWG\2016.050\_PHASE 2 CONCEPTUAL SURVEY PLAT.DWG



DELTA COAST  
CONSULTANTS, LLC

4924 HWY 311 - HOUMA, LA 70360  
PHONE: 985-655-3100 www.deltacoastllc.com FAX: 985-262-4567

# Houma-Terrebonne Regional Planning Commission

P.O. Box 1446, Houma, Louisiana 70361  
Ph. (985) 873-6793 – Fax (985) 580-8141

## APPLICATION SUBDIVISION OF PROPERTY

### APPROVAL REQUESTED:

- |   |  |
|---|--|
| A. <input type="checkbox"/> Raw Land          | B. <input type="checkbox"/> Mobile Home Park             |
| <input type="checkbox"/> Re-Subdivision       | <input type="checkbox"/> Residential Building Park       |
| C. <input type="checkbox"/> Major Subdivision | <input type="checkbox"/> Conceptual/Preliminary          |
| <input type="checkbox"/> Conceptual           | <input type="checkbox"/> Engineering                     |
| <input type="checkbox"/> Preliminary          | <input type="checkbox"/> Final                           |
| <input type="checkbox"/> Engineering          | D. <input checked="" type="checkbox"/> Minor Subdivision |
| <input type="checkbox"/> Final                |  |

Variance(s) (detailed description):

### THE FOLLOWING MUST BE COMPLETE TO ENSURE PROCESS OF THE APPLICATION:

1. Name of Subdivision: SURVEY OF LOTS 1-A & 1-B A REDIVISION OF REVISED LOT 1, BLOCK 1  
ADD. #3 TO WOODLAWN RANCH ACRES FOR LYLE ENTERPRISES, LLC
2. Developer's Name & Address: LYLE ENTERPRISES, LLC, 4428 HWY. 56, CHAUVIN, LA 70344
- \*Owner's Name & Address: SAME  
[\* All owners must be listed, attach additional sheet if necessary]
3. Name of Surveyor, Engineer, or Architect: KENETH L. REMBERT, PLS


### SITE INFORMATION:



- |  |  |
|--|--|
| 4. Physical Address: <u>3792 AND 3802 HWY. 56, HOUMA, LA 70363</u>             |  |
| 5. Location by Section, Township, Range: <u>SECTIONS 6 &amp; 19, T17S-R18E</u> |  |
| 6. Purpose of Development: <u>OWNER WANTS TO RECONFIGURE TRACT</u>             |  |
| 7. Land Use:   | 8. Sewerage Type:  |
| <input type="checkbox"/> Single-Family Residential                             | <input type="checkbox"/> Community                       |
| <input type="checkbox"/> Multi-Family Residential                              | <input checked="" type="checkbox"/> Individual Treatment |
| <input checked="" type="checkbox"/> Commercial                                 | <input type="checkbox"/> Package Plant                   |
| <input type="checkbox"/> Industrial  | <input type="checkbox"/> Other                           |
| 9. Drainage:   | 10. Date and Scale of Map:                               |
| <input type="checkbox"/> Curb & Gutter   | <u>DATE: 06/28/2016 SCALE: 1"=50'</u>                    |
| <input checked="" type="checkbox"/> Roadside Open Ditches                      | 11. Council District:                                    |
| <input type="checkbox"/> Rear Lot Open Ditches                                 | <u>8 / COH Fire</u>                                      |
| <input type="checkbox"/> Other   |  |
| 12. Number of Lots: <u>2</u>   | 13. Filing Fees: _____                                   |

I, KENETH L. REMBERT, certify this application including the attached date to be true and correct.

KENETH L. REMBERT  
Print Applicant or Agent


6/28/16  
Date

  
Signature of Applicant or Agent

The undersigned certifies:  1) That he/she is the owner of the entire land included within the proposal, and concurs with the Application, or  2) That he/she has submitted with this Application a complete, true and correct listing of all of the owners of the entire land included within the proposal, that each of the listed owners concur with this Application, and that he/she has been given specific authority by each listed owner to submit and sign this Application on their behalf.

LYLE ENTERPRISES, LLC by: Jason Lyle  
Print Name of Signature

6/28/16  
Date

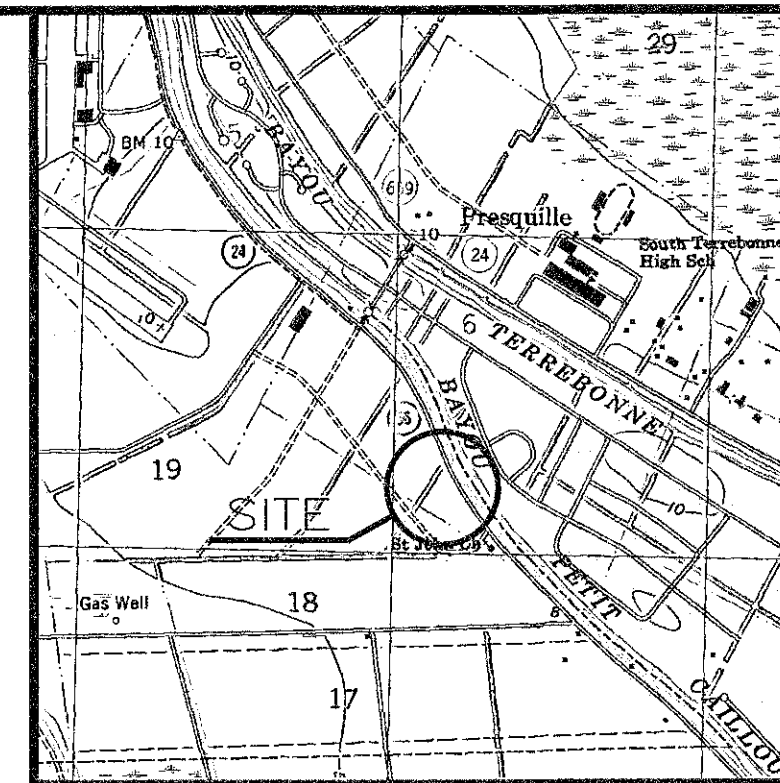
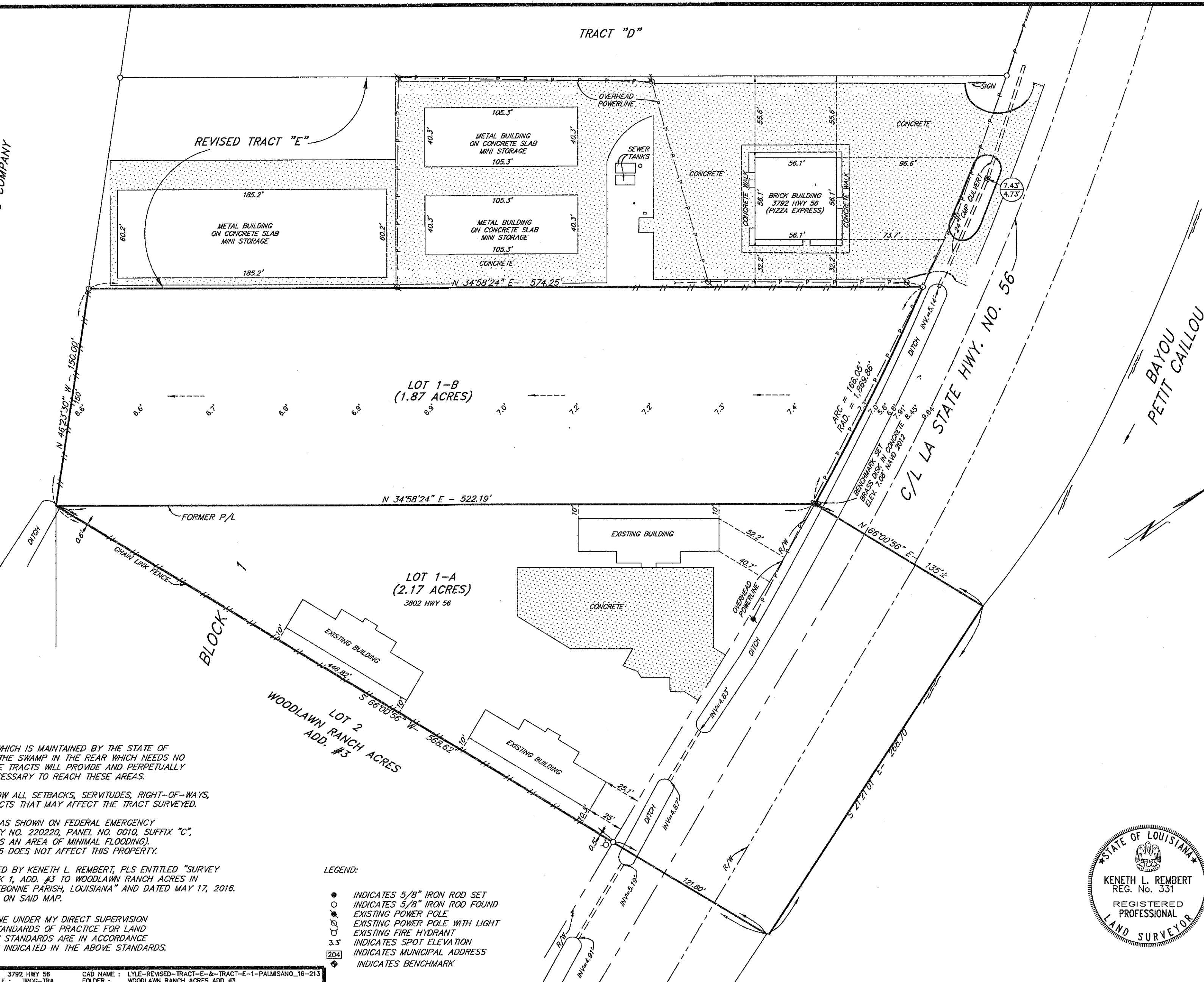
  
Signature

PC16/ 7 - 2 - 19

Revised 3/25/2010



WALTER LAND COMPANY



VICINITY MAP

NOTE:  
THIS PROPERTY DRAINS TO HIGHWAY WHICH IS MAINTAINED BY THE STATE OF LA., TO BAYOU TERREBONNE AND TO THE SWAMP IN THE REAR WHICH NEEDS NO MAINTENANCE. THE OWNERS OF THESE TRACTS WILL PROVIDE AND PERPETUALLY MAINTAIN ALL DRAINAGE COURSES NECESSARY TO REACH THESE AREAS.

THIS MAP DOES NOT PURPORT TO SHOW ALL SETBACKS, SERVITUDES, RIGHT-OF-WAYS, EASEMENTS OR OTHER PHYSICAL OBJECTS THAT MAY AFFECT THE TRACT SURVEYED.

THIS TRACT IS LOCATED IN ZONE "C" AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY MAP, COMMUNITY NO. 220220, PANEL NO. 0010, SUFFIX "C", AND DATED MAY 1, 1985. (ZONE "C" IS AN AREA OF MINIMAL FLOODING). F.E.M.A. ADVISORY PANEL NO. LA-P105 DOES NOT AFFECT THIS PROPERTY.

THIS SURVEY BASED ON MAP PREPARED BY KENETH L. REMBERT, PLS ENTITLED "SURVEY OF TRACT 'E' & REVISED LOT 1 BLOCK 1, ADD. #3 TO WOODLAWN RANCH ACRES IN SECTIONS 6 & 19, T17S - R18E, TERREBONNE PARISH, LOUISIANA" AND DATED MAY 17, 2016. BEARINGS SHOWN HEREON ARE BASED ON SAID MAP.

I CERTIFY THAT THIS SURVEY WAS DONE UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH THE MINIMUM STANDARDS OF PRACTICE FOR LAND SURVEYORS AND THAT THE ACCURACY STANDARDS ARE IN ACCORDANCE WITH CLASS "D" (RURAL) SURVEYS AS INDICATED IN THE ABOVE STANDARDS.

- LEGEND:
- INDICATES 5/8" IRON ROD SET
  - INDICATES 5/8" IRON ROD FOUND
  - EXISTING POWER POLE
  - EXISTING FIRE HYDRANT
  - 3.3' INDICATES SPOT ELEVATION
  - 204 INDICATES MUNICIPAL ADDRESS
  - ◆ INDICATES BENCHMARK

APPROVED AND ACCEPTED THIS DATE \_\_\_\_\_  
BY THE HOUMA - TERREBONNE REGIONAL PLANNING COMMISSION

BY \_\_\_\_\_ FOR \_\_\_\_\_

SURVEY OF LOTS 1-A & 1-B  
A REDIVISION OF REVISED LOT 1, BLOCK 1  
ADD. #3 TO WOODLAWN RANCH ACRES  
FOR LYLE ENTERPRISES, LLC  
IN SECTIONS 6 & 19, T17S - R18E,  
TERREBONNE PARISH, LOUISIANA



JUNE 28, 2016 SCALE: 1" = 50'

*Keneth L. Rembert*  
KENETH L. REMBERT, SURVEYOR  
635 SCHOOL ST., HOUMA, LA.  
985-879-2782

# Houma-Terrebonne Regional Planning Commission

P.O. Box 1446, Houma, Louisiana 70361  
Ph. (985) 873-6793 – Fax (985) 580-8141

## APPLICATION SUBDIVISION OF PROPERTY

### APPROVAL REQUESTED:

- A. ☐ Raw Land  
☐ Re-Subdivision  
C. ☐ Major Subdivision  
☐ Conceptual  
☐ Preliminary  
☐ Engineering  
☐ Final
- B. ☐ Mobile Home Park  
☐ Residential Building Park  
☐ Conceptual/Preliminary  
☐ Engineering  
☐ Final
- D. ☒ Minor Subdivision

☒ Variance(s) (detailed description): RPUD

### THE FOLLOWING MUST BE COMPLETE TO ENSURE PROCESS OF THE APPLICATION:

1. Name of Subdivision: Townhomes of Deroche Estates  
2. Developer's Name & Address: Deroche Development, LLC, 187 Regal Row, Houma, LA 70360  
\*Owner's Name & Address: Pamela D. Russo, 187 Regal Row, Houma, LA 70360  
[\* All owners must be listed, attach additional sheet if necessary]  
3. Name of Surveyor (Engineer) or Architect: Milford & Associates, Inc.

### SITE INFORMATION:

4. Physical Address: Derusso Street  
5. Location by Section, Township, Range: Section 4, T17S-R17E  
6. Purpose of Development: Townhomes  
7. Land Use:  
☒ Single-Family Residential  
☐ Multi-Family Residential  
☐ Commercial  
☐ Industrial
8. Sewerage Type:  
☒ Community  
☐ Individual Treatment  
☐ Package Plant  
☐ Other
9. Drainage:  
☒ Curb & Gutter  
☐ Roadside Open Ditches  
☐ Rear Lot Open Ditches  
☐ Other
10. Date and Scale of Map: 27JUNE16 1" = 40'  
11. Council District: 5 / Bayou Cane Fire  
12. Number of Lots: 28  
13. Filing Fees: \$145.22

I, Floyd "Gene" Milford, III, certify this application including the attached data to be true and correct.

Floyd "Gene" Milford, III

Print Applicant

7-1-16  
Date

[Signature]  
Signature of Applicant

The undersigned certifies: initial 1) That he/she is the owner of the entire land included within the proposal, and concurs with the Application, or PDR initial 2) That he/she has submitted with this Application a complete, true and correct listing of all of the owners of the entire land included within the proposal, that each of the listed owners concur with this Application, and that he/she has been given specific authority by each listed owner to submit and sign this Application on their behalf.

Pamela D. Russo

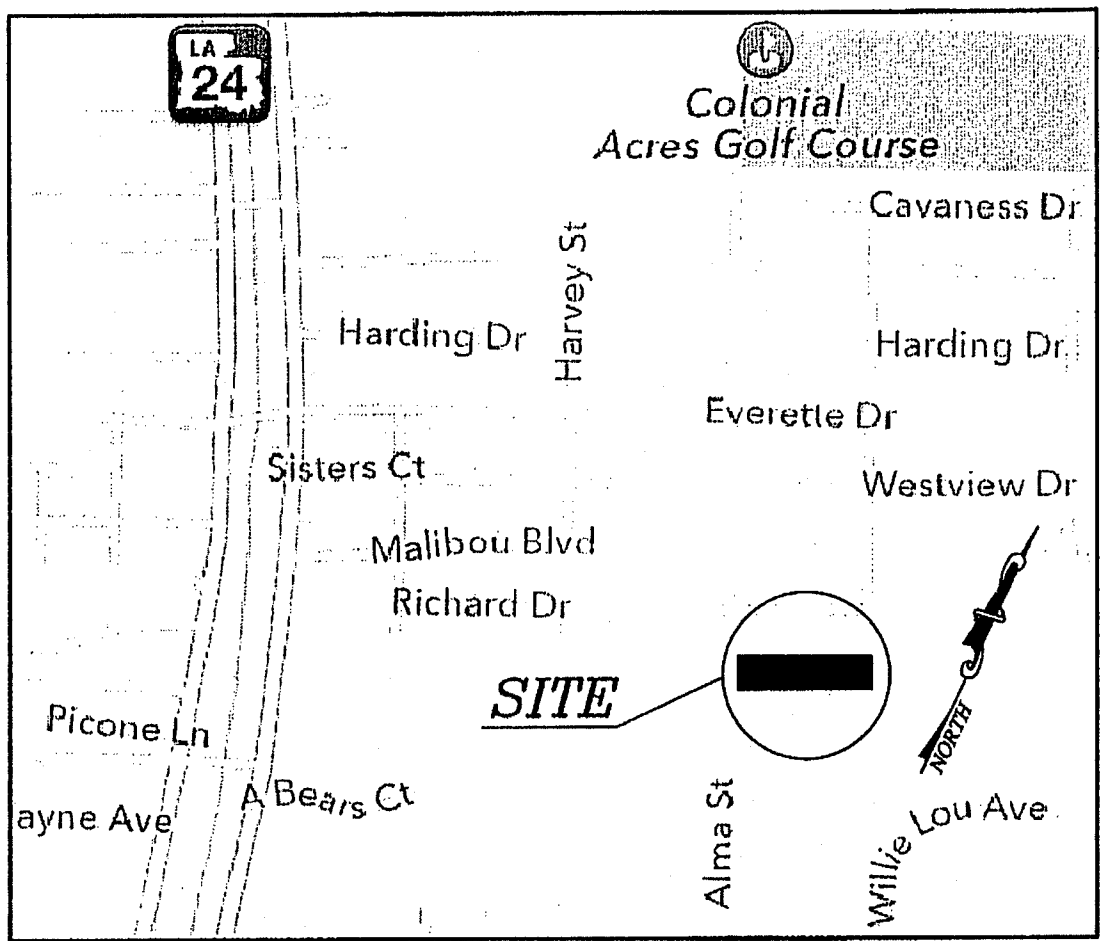
Print Name of Signature

7-1-16  
Date

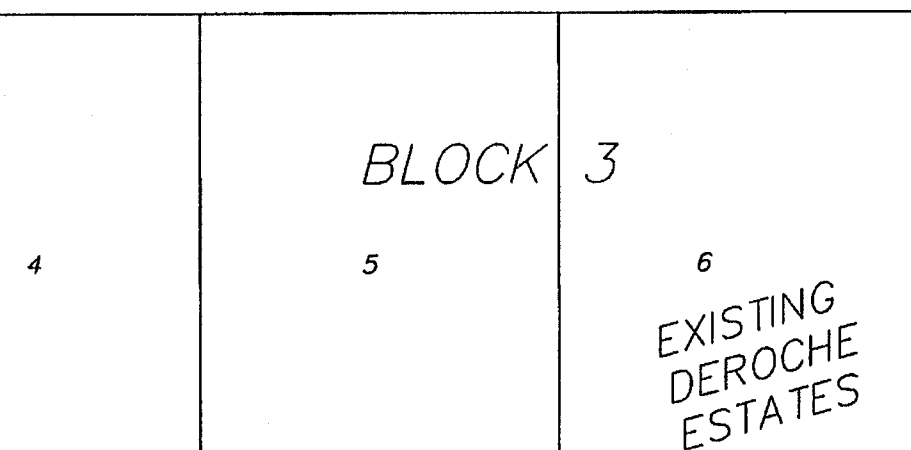
[Signature]  
Signature

PC16/ 7 - 3 - 20





VICINITY MAP  
N 63°53'40" E - 89.39'



THIS MAP DOES NOT PURPORT TO SHOW ALL SERVITUDES, RIGHT-OF-WAYS, EASEMENTS, PIPELINES OR OTHER PHYSICAL OBJECTS THAT MAY AFFECT THE TRACT SURVEYED.

THIS SURVEY BASED ON MAP RECORDED UNDER ENTRY NOS. 335037 & 668135 AS FILED IN THE TERREBONNE PARISH CLERK OF COURT OFFICE AND NO ADDITIONAL TITLE RESEARCH WAS MADE BY KENNETH L. REMBERT SURVEYORS. BEARINGS SHOWN HEREON ARE BASED ON SAID MAP.

THESE LOTS ARE LOCATED IN ZONE "C" AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY MAP, COMMUNITY NO. 225206, PANEL NO. 0265, SUFFIX "C", AND DATED MAY 1, 1985. (ZONE "C" IS AN AREA OF MINIMAL FLOODING). F.E.M.A. 2006 ADVISORY PANEL NO. LA-R102 PLACES THIS PROPERTY IN ZONE "A" WITH A BASE FLOOD REQUIREMENT OF 5'.

This is to certify that this survey was done by me or under my direct supervision and control, that the survey was done on the ground and was done in accordance with the most recent minimum STANDARDS OF PRACTICE FOR LAND SURVEYORS as set forth by the STATE OF LOUISIANA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS and that the accuracy specifications and positional tolerances are in accordance with suburban area surveys indicated in

#### DEDICATION OF STREETS AND SERVITUDES

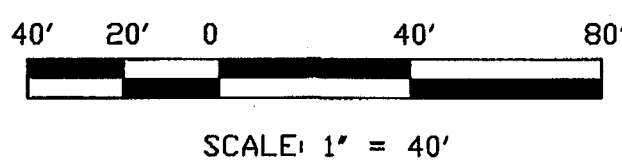
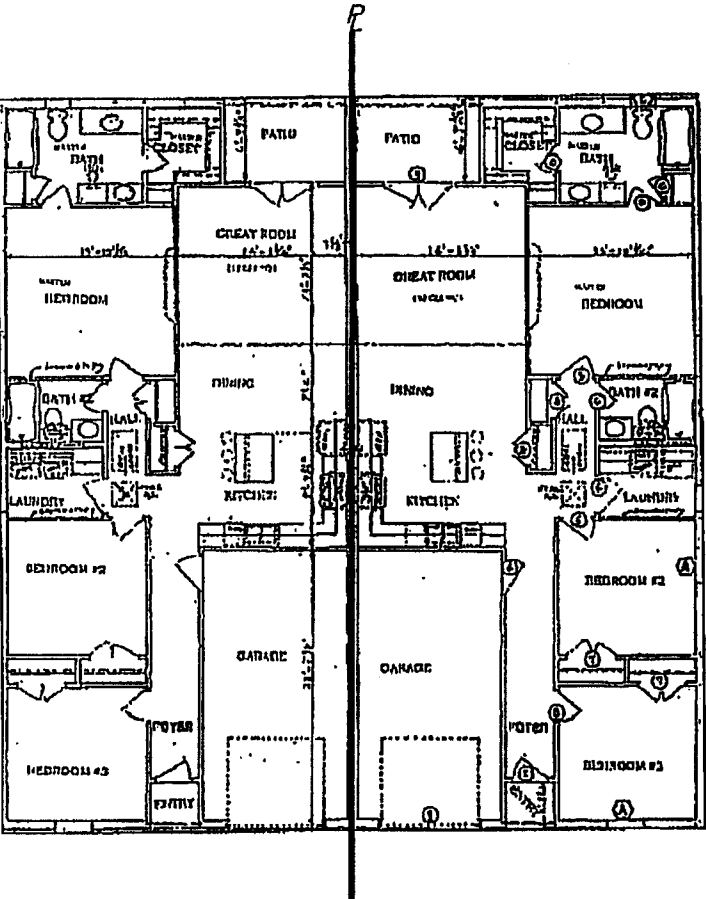
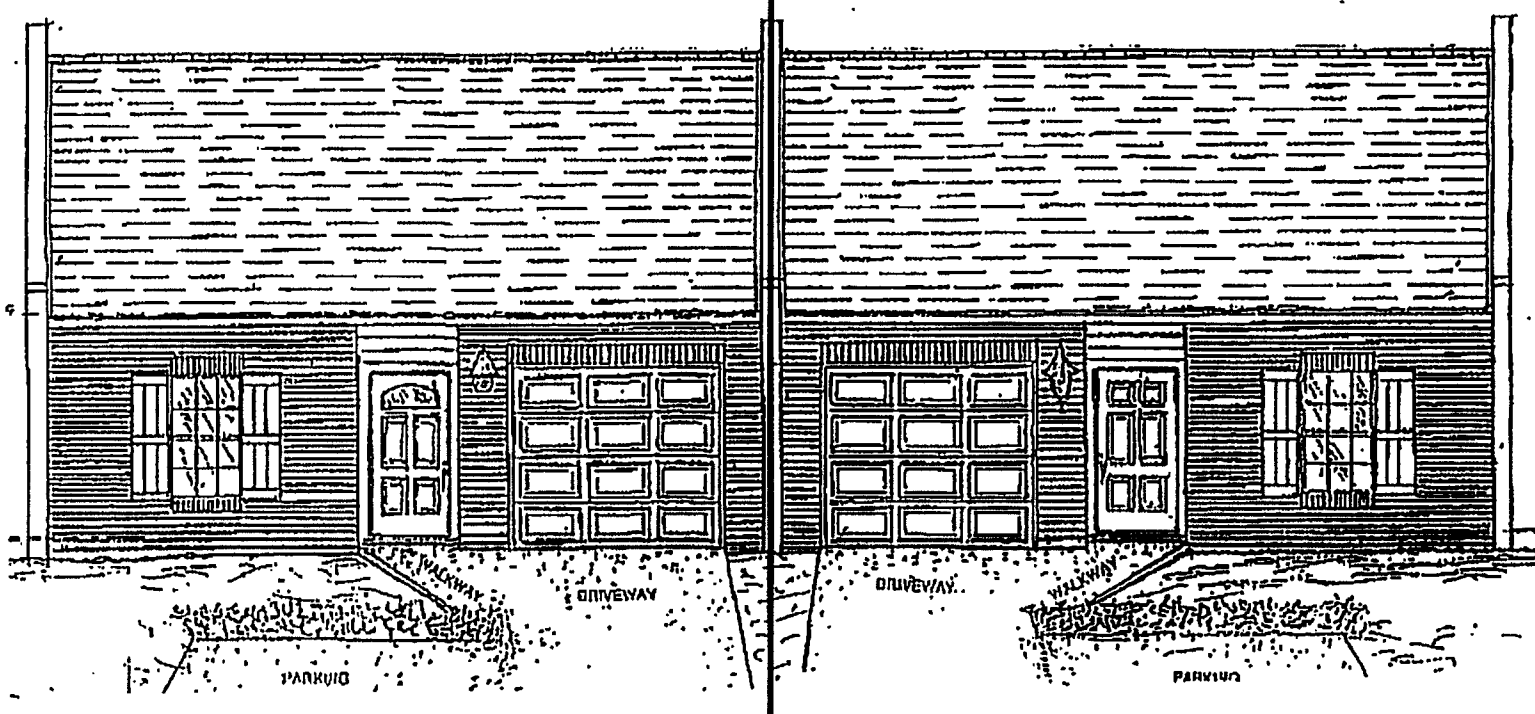
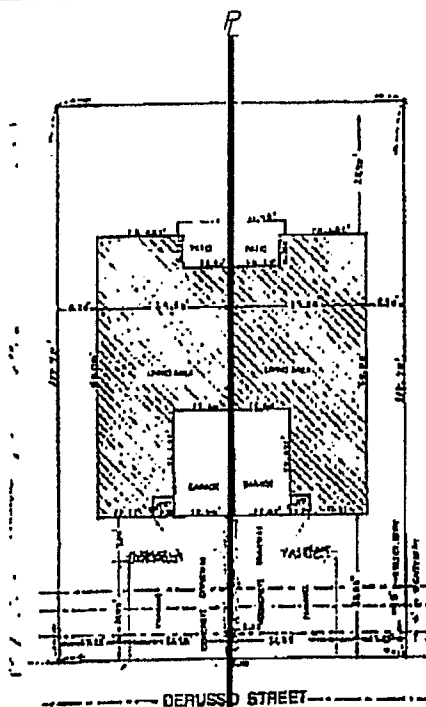
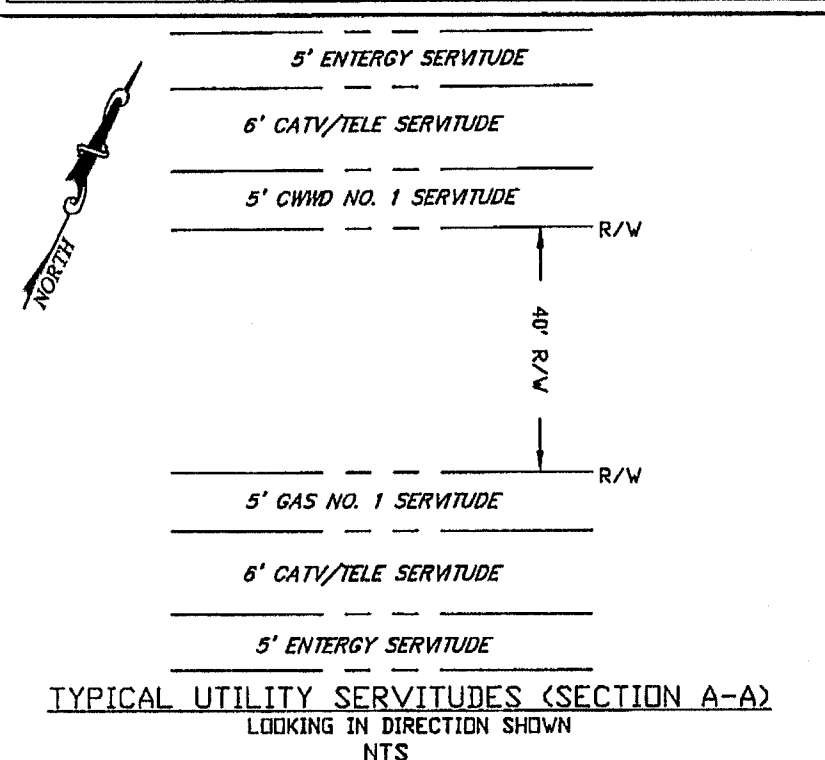
THE STREETS AS DESIGNATED ON THIS SUBDIVISION PLAT ARE HEREBY FORMALLY DEDICATED FOR USE AS A SERVITUDE FOR UNDERGROUND UTILITIES AND PUBLIC PASSAGE, ONLY THE FEE IN THE LAND BEING RESERVED, AND THE PARISH OF TERREBONNE SHALL HAVE THE RIGHT TO IMPROVE AND MAINTAIN THE SAID STREETS FOR THE CONVENIENCE OF THE PUBLIC.

THE SERVITUDES AS INDICATED ON THE PRIVATE LOTS AND THE STREET RIGHTS-OF-WAY AS SHOWN ARE HEREBY DEDICATED FOR THE USE OF CONSTRUCTING, OPERATING AND MAINTAINING UTILITIES AND OR DRAINAGE STRUCTURES, THE FEE IN THE LAND BEING RESERVED BY THE PROPERTY OWNER.

AUTHORIZED OWNER

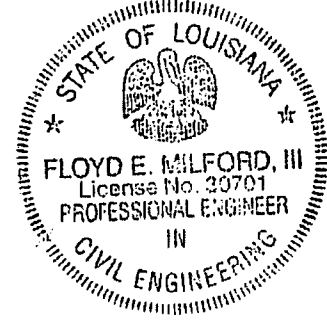
APPROVED AND ACCEPTED THIS DATE \_\_\_\_\_  
BY THE HOUMA-TERREBONNE REGIONAL PLANNING COMMISSION

FOR



DATE	REVISION	BY

28 LOTS-TOTAL



DRAINAGE: SUB-SURFACE  
SEWER: COMMUNITY  
LAND USE: RESIDENTIAL  
MINOR SUBDIVISION

TOWNHOMES OF DEROCHÉ ESTATES  
DEROCHÉ DEVELOPEMENT, L.L.C. -  
DEVELOPER  
LOCATED IN SECTION 4, T17S-R17E  
TERREBONNE PARISH, LOUISIANA

MILFORD & ASSOCIATES, INC.  
CONSULTING ENGINEERS HOUMA, LOUISIANA

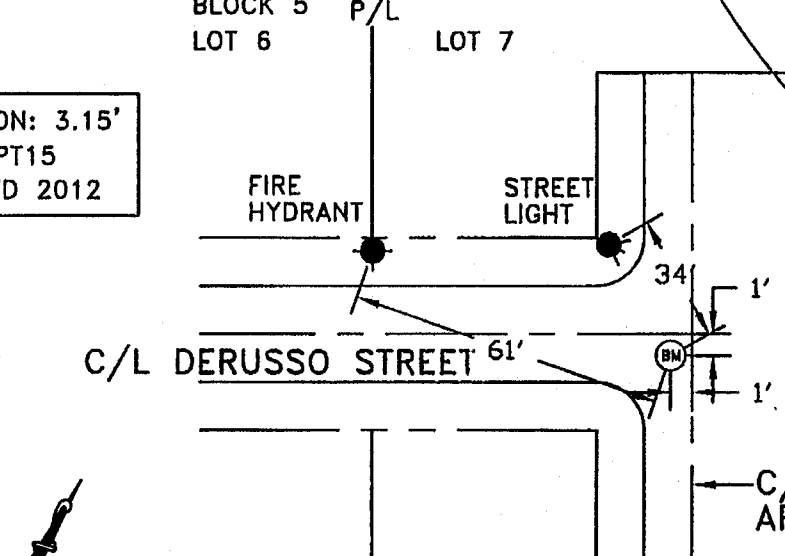
APPROVED BY:

JOB # 16-50 CAD # 1650-MSD FILE #

DRAWN: TLD
CHK'D: F.E.M. III
SCALE: 1" = 40'
DATE: 27JUN16

COUNCIL DISTRICT 6	
SEWER	TPCG
ELEC.	ENTERGY
CABLE	COMCAST
FIRE	BAYOU CANE
ZONED	R-2
GAS	ATMOS

BM ELEVATION: 3.15'  
DATE: 28SEPT15  
DATUM: NAVD 2012



EXIST 61" DRAINAGE SERVITUDE

EXIST 61" DRAINAGE SERVITUDE

NOTE: NO STRUCTURES, FILL OR OBSTRUCTIONS SHALL BE LOCATED WITHIN ANY DRAINAGE EASEMENT OR DELINEATED FLOOD PLAIN AREA WITHOUT PRIOR APPROVAL OF GRANTEE OF EASEMENT OR DELINEATED FLOOD PLAIN AREA

LEGEND		
F.H.		EXISTING FIRE HYDRANT
F.H.		EXISTING STREET LIGHT
F.H.		FIRE HYDRANT
		STREET LIGHT
(BM)		BENCH MARK 4" BRASS DISC SET IN CONCRETE
X50		LOT ELEVATIONS
999		HOUSE NUMBERS

PROJECT NO.	PARISH	SHEET NO.
16-50	TERREBONNE	1

# Houma-Terrebonne Regional Planning Commission

P.O. Box 1446, Houma, Louisiana 70361  
Ph. (985) 873-6793 – Fax (985) 580-8141

## APPLICATION SUBDIVISION OF PROPERTY

### APPROVAL REQUESTED:

- A. ☐ Raw Land  
☐ Re-Subdivision  
C. ☐ Major Subdivision  
☐ Conceptual  
☐ Preliminary  
☐ Engineering  
☐ Final
- B. ☐ Mobile Home Park  
☐ Residential Building Park  
☐ Conceptual/Preliminary  
☐ Engineering  
☐ Final  
D. ☒ Minor Subdivision

☐ Variance(s) (detailed description): \_\_\_\_\_

### THE FOLLOWING MUST BE COMPLETE TO ENSURE PROCESS OF THE APPLICATION:

1. Name of Subdivision: Lots D-1 & D2, A Redivision of Lot 1, Blk. 1, North Terrebonne Commercial Park
2. Developer's Name & Address: Annie I, LLC, P.O. Box 869, Houma, LA 70360  
\*Owner's Name & Address: Annie I, LLC, P.O. Box 869, Houma, LA 70360  
[\* All owners must be listed, attach additional sheet if necessary]
3. Name of Surveyor, Engineer, or Architect: Milford & Associates, Inc.

### SITE INFORMATION:

4. Physical Address: 3369 Lilac Drive
5. Location by Section, Township, Range: Section 4, T16S-R16E & Section 4, T16S-R17E
6. Purpose of Development: Redivision of Lots
7. Land Use:  
☒ Single-Family Residential  
☐ Multi-Family Residential  
☒ Commercial  
☐ Industrial
8. Sewerage Type:  
☐ Community  
☒ Individual Treatment  
☐ Package Plant  
☐ Other
9. Drainage:  
☐ Curb & Gutter  
☐ Roadside Open Ditches  
☐ Rear Lot Open Ditches  
☐ Other
10. Date and Scale of Map: \_\_\_\_\_  
1" = 100'
11. Council District: 2
12. Number of Lots: 2
13. Filing Fees: \$259.80

I, Floyd "Gene" Milford, III, certify this application including the attached date to be true and correct.

Floyd "Gene" Milford, III

Print Applicant

7-1-16

Date

[Signature]  
Signature of Applicant

The undersigned certifies: [Signature] 1) That he/she is the owner of the entire land included within the proposal, and concurs with the Application, or [Signature] 2) That he/she has submitted with this Application a complete, true and correct listing of all of the owners of the entire land included within the proposal, that each of the listed owners concur with this Application, and that he/she has been given specific authority by each listed owner to submit and sign this Application on their behalf.

Ronald J. Shaw

Print Name of Signature

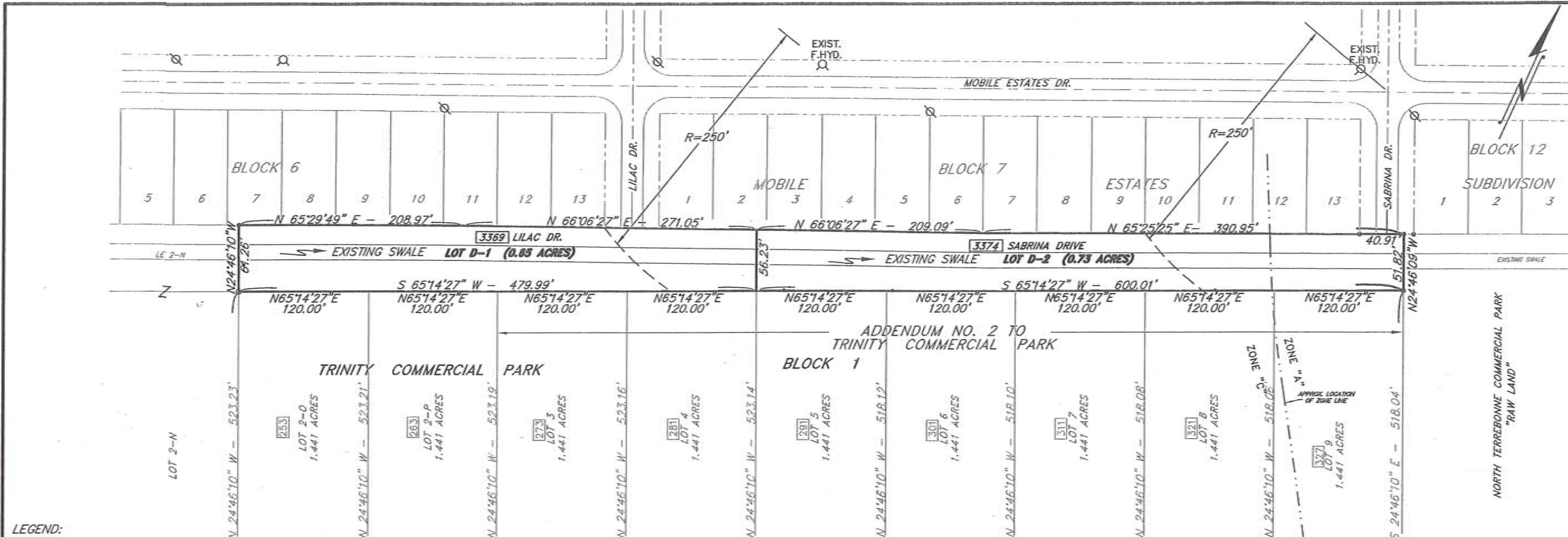
7/1/16

Date

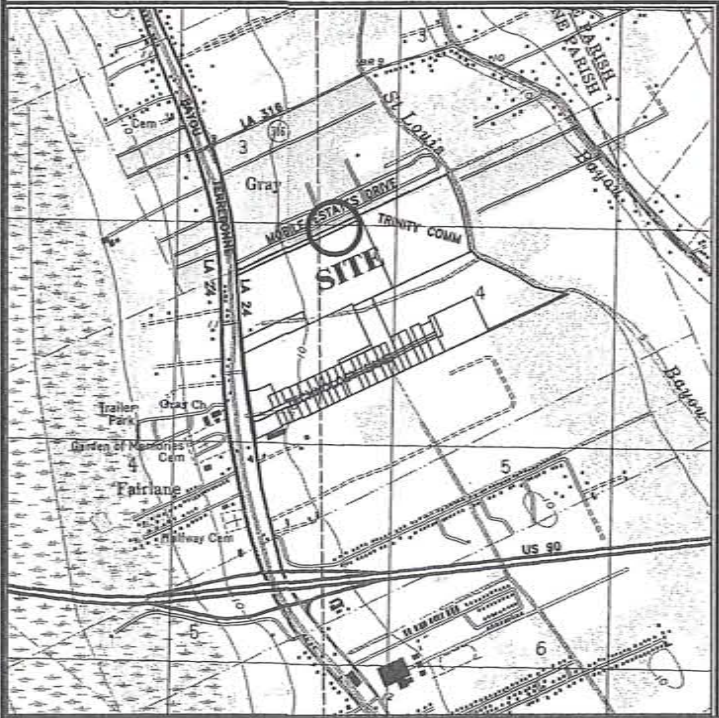
[Signature]  
Signature

PC16/ 7 - 4 - 21





- LEGEND:**
- X CHISELED "X" SET IN CONCRETE
  - INDICATES 5/8" IRON ROD SET
  - INDICATES 5/8" IRON ROD FOUND
  - EXISTING POWER POLE
  - EXISTING POWER POLE WITH LIGHT
  - INDICATES EXISTING FIRE HYDRANTS
  - INDICATES MUNICIPAL ADDRESS
- VICINITY MAP**



THIS MAP WAS PREPARED FOR INFORMATIONAL PURPOSES FOR SUBMITTAL TO THE HOUMA TERREBONNE REGIONAL PLANNING COMMISSION AND IS NOT IN FULL COMPLIANCE WITH THE MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS.

THIS MAP DOES NOT PURPORT TO SHOW ALL SERVITUDES, RIGHT-OF-WAYS, EASEMENTS, PIPELINES OR OTHER PHYSICAL OBJECTS THAT MAY AFFECT THE TRACT SURVEYED.

THIS PROPERTY IS LOCATED IN ZONE "C" (AN AREA OF MINIMAL FLOODING) AND ZONE "A" AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY MAP, COMMUNITY NO. 225206, PANEL NOS. 0405 & 0410, SUFFIX "C", AND DATED MAY 1, 1985. (ZONE "A" PARISH REQUIREMENT IS 5'). F.E.M.A. 2006 ADVISORY PANEL NO. LA-T101 DOES NOT AFFECT THIS PROPERTY.

THESE LOTS DRAIN TO THE CANAL IN THE REAR WHICH NEEDS NO MAINTENANCE. THE OWNERS OF THESE LOTS WILL PROVIDE AND PERPETUALLY MAINTAIN ALL DRAINAGE COURSES NECESSARY TO REACH THESE AREAS.

APPROVED AND ACCEPTED THIS DATE \_\_\_\_\_  
BY THE HOUMA - TERREBONNE REGIONAL PLANNING COMMISSION

BY \_\_\_\_\_ FOR \_\_\_\_\_

## PRELIMINARY

This drawing is not to be used for construction, bidding recordation, conveyance, sales or as the basis for the issuance of a permit. This preliminary drawing has been prepared by F. E. Milford, III, LA #30701

### REFERENCE MAPS:

- 1) "SURVEY OF TRACTS 1 THROUGH 8 PROPERTY OF MRS. ALLIE A. ROBICHAUX ET AL SECTIONS 4 & 5, T16S-R16&17E TERREBONNE PARISH, LOUISIANA" PREPARED BY KENETH L. REMBERT, SURVEYOR AND DATED APRIL 6, 1977.
- 2) "MOBILE ESTATES A MOBILE HOME SUBDIVISION A SUBDIVISION OF PROPERTY LOCATED IN SECTION 3, T16S - R16E & SECTION 3, T16S - R17E TERREBONNE PARISH, LOUISIANA" PREPARED BY THETA II ENTERPRISES, INC. AND DATED FEBRUARY 6, 1994.
- 3) "STATE PROJECT NO. 855-06-15 HOUMA-SCHIREVER HIGHWAY ( La 3052 - GRAY ) TERREBONNE PARISH La 659" PREPARED BY CARL HECK ENGINEERS, INC. DATED JULY 7, 1982 AND LAST REVISED APRIL 20, 1983.

THIS MAP IS BASED ON MAP ENTITLED "SURVEY OF TRACT "A", "B", "C" & "D" A REDIVISION OF TRACT 2-A BELONGING TO CROPLAND INVESTMENT GROUP, L.L.C. LOCATED IN SECTION 4, T16S-R16E AND SECTION 4, T16S-R17E, TERREBONNE PARISH, LOUISIANA" PREPARED BY KENETH L. REMBERT, SURVEYOR.

**LAND USE:**  
**COMMERCIAL & RESIDENTIAL**  
**"MINOR SUBDIVISION"**

**LOTS D-1 & D-2, A REDIVISION OF  
A PORTION OF LOT 1, BLOCK 1,  
NORTH TERREBONNE COMMERCIAL PARK  
& A LOT LINE ADJUSTMENT TO ADJACENT PROPERTIES  
IN SECTION 4, T16S-R16E & SECTION 4, T16S-R17E,  
TERREBONNE PARISH, LOUISIANA**

<b>MILFORD &amp; ASSOCIATES, INC.</b>			DRAWN BY : DAB	CHECKED BY : F.E.M. III	DATE : 26MAY16
<b>CONSULTING ENGINEERS</b>			JOB NO. : 16-41	CAD NO. : 1641-SD	SCALE : 1" = 100'
<b>HOUMA, LOUISIANA</b>					



# Houma-Terrebonne Regional Planning Commission

P.O. Box 1446, Houma, Louisiana 70361  
Ph. (985) 873-6793 - Fax (985) 580-8141

## APPLICATION SUBDIVISION OF PROPERTY

### APPROVAL REQUESTED:

- A. ☐ Raw Land  
☐ Re-Subdivision  
C. ☐ Major Subdivision  
☐ Conceptual  
☐ Preliminary  
☐ Engineering  
☐ Final
- B. ☐ Mobile Home Park  
☐ Residential Building Park  
☐ Conceptual/Preliminary  
☐ Engineering  
☐ Final  
D. ☒ Minor Subdivision

☐ Variance(s) (detailed description):

### THE FOLLOWING MUST BE COMPLETE TO ENSURE PROCESS OF THE APPLICATION:

1. Name of Subdivision: SURVEY SHOWING A DIVISION OF PROPERTY BELONGING TO CAVCO INVESTMENTS INTO TRACT A, TRACT B, & TRACT C
2. Developer's Name & Address: CAVCO INVESTMENTS, LLC, 125 MANCHESTER DR., HOUMA, LA 70360  
\*Owner's Name & Address: DARON CAVANESS, 104 PASTURE LANE, THIBODAUX, LA 70301  
GWEN CAVANESS, 125 MANCHESTER DR., HOUMA, LA 70360  
[\* All owners must be listed, attach additional sheet if necessary]
3. Name of Surveyor, Engineer, or Architect: LEONARD J. CHAUVIN JR.

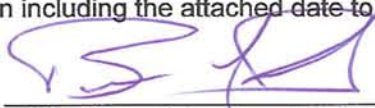
### SITE INFORMATION:

4. Physical Address: 104 PASTURE LANE, THIBODAUX, LA 70301
5. Location by Section, Township, Range: SECTION 79, T15S - R16E
6. Purpose of Development: CREATE 3 LOTS
7. Land Use:  
☐ Single-Family Residential  
☒ Multi-Family Residential  
☐ Commercial  
☐ Industrial
8. Sewerage Type:  
☐ Community  
☒ Individual Treatment  
☐ Package Plant  
☐ Other
9. Drainage:  
☒ Curb & Gutter  
☐ Roadside Open Ditches  
☒ Rear Lot Open Ditches  
☐ Other
10. Date and Scale of Map: MAY 26, 2016 1"=100'
11. Council District: DISTRICT 2 - ARLANDA WILLIAMS #4 / Schriever Fire
12. Number of Lots: 3
13. Filing Fees: FILING FEE \$296 CERTIFIED \$377.44

I, BENSON J. LEBOEUF, certify this application including the attached date to be true and correct.

BENSON J. LEBOEUF  
Print Applicant or Agent

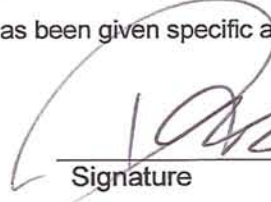
7-1-16  
Date

  
Signature of Applicant or Agent

The undersigned certifies: initial 1) That he/she is the owner of the entire land included within the proposal, and concurs with the Application, or initial 2) That he/she has submitted with this Application a complete, true and correct listing of all of the owners of the entire land included within the proposal, that each of the listed owners concur with this Application, and that he/she has been given specific authority by each listed owner to submit and sign this Application on their behalf.

DARON D CAVANESS  
Print Name of Signature

7-1-16  
Date

  
Signature

Revised 3/25/2010

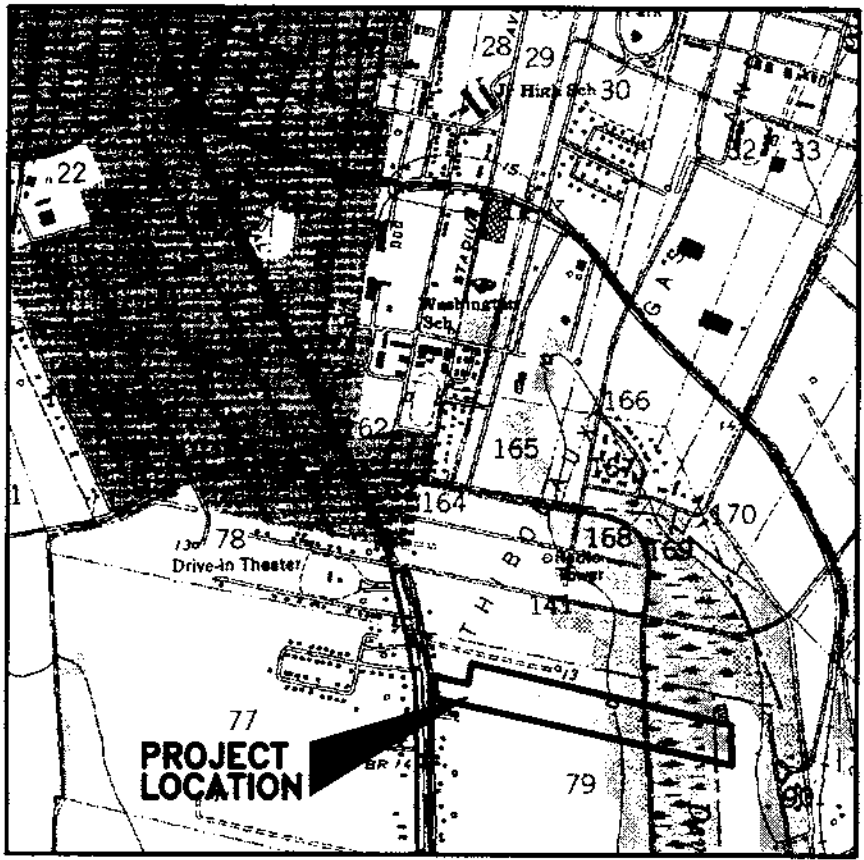
PC16/ 7 - 5 - 22

NOTES:

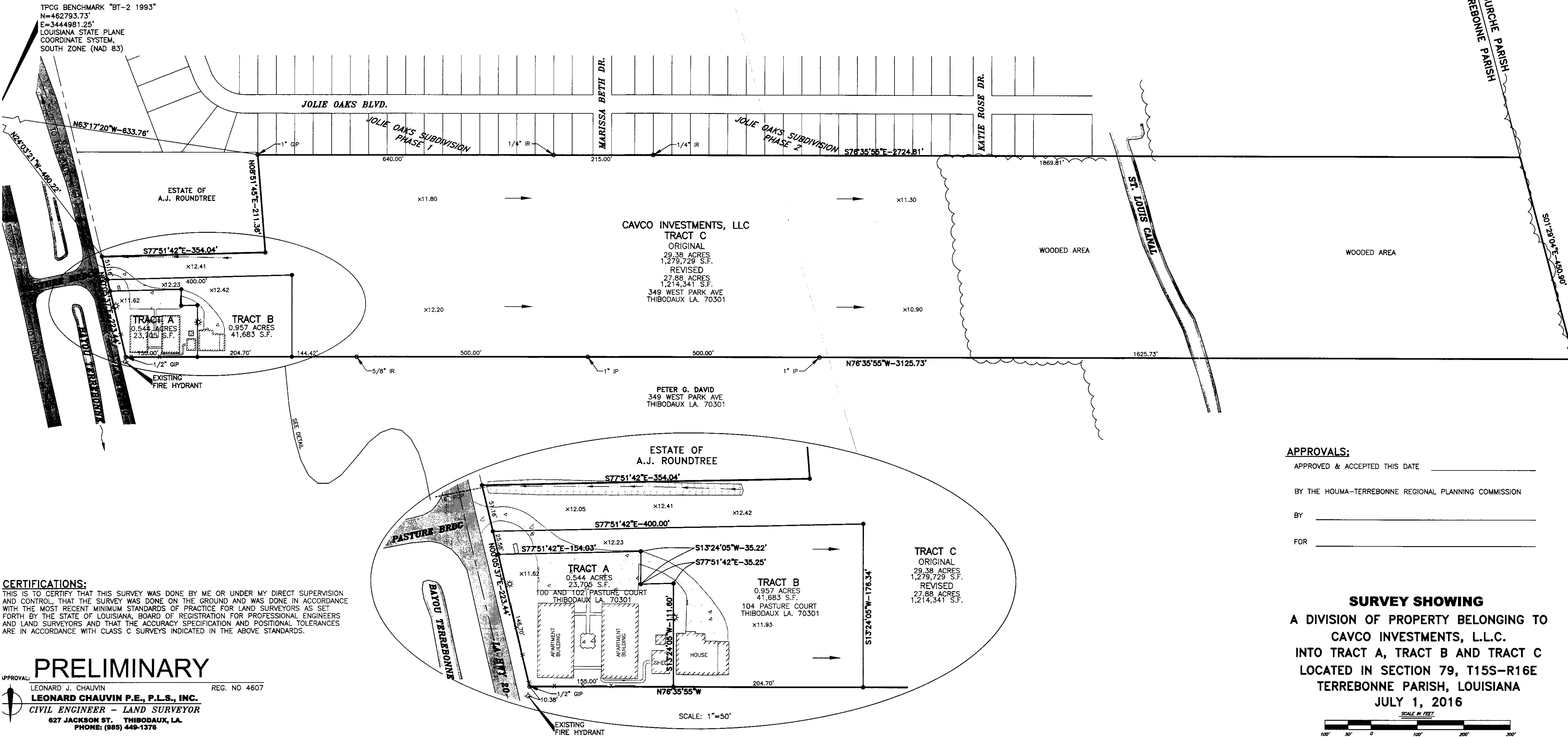
- 1.) REFERENCES:  
A.) "A SURVEY OF A 28.01 ACRE TRACT LOCATED IN SECTION 79, T15S - R16E TERREBONNE PARISH, LOUISIANA"  
PREPARED BY: ALLEN R. WOODARD  
DATED: APRIL 9, 2007  
\*\*BASIS OF BEARINGS HELD TO ABOVE REFERENCE MAP "A".
- 2.) FLOOD INFORMATION:  
A.) ACCORDING TO TERREBONNE PARISH FLOOD INSURANCE RATE MAP PANEL NUMBER 225206 0385 C, DATED MAY 1, 1985, THIS PROPERTY IS LOCATED IN ZONE C AND ZONE A.  
B.) ABFE MAP #LA-W99 INDICATES PROPERTY OUT OF ABFE LIMITS.  
DATE OF EVENT: SEPTEMBER 24, 2005  
DATE OF MAP: FEBRUARY 23, 2006
- 3.) A PORTION OF THIS PROPERTY DRAINS INTO SUBSURFACE DRAINAGE LOCATED IN THE R/W OF STATE HWY. 20. THE REMAINING PROPERTY DRAINS OVERLAND AND INTO THE ST. LOUIS CANAL.
- 4.) ELEVATIONS INDICATED ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) - GEOID 12A.
- 5.) LAND USE: RESIDENTIAL
- 6.) METHOD OF SEWER DISPOSAL: PRIVATELY MAINTAINED SEWERAGE TREATMENT PLANT.

**LEGEND**

○ FOUND AS NOTED  
● 5/8" IRON ROD TO BE SET UPON APPROVAL BY TERREBONNE PARISH PLANNING COMMISSION  
⊛ EXISTING POWER POLE WITH LIGHT  
⊙ EXISTING FIRE HYDRANT  
○ SPOT ELEVATION  
--- EXISTING DITCH  
--- OVERHEAD ELECTRICITY  
--- ORIGINAL PROPERTY LINE  
--- FENCE  
⊕ BENCHMARK AS NOTED  
→ DRAINAGE DIRECTION  
□ CONCRETE



VICINITY MAP  
1"=2000'



**CERTIFICATIONS:**  
THIS IS TO CERTIFY THAT THIS SURVEY WAS DONE BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL. THAT THE SURVEY WAS DONE ON THE GROUND AND WAS DONE IN ACCORDANCE WITH THE MOST RECENT MINIMUM STANDARDS OF PRACTICE FOR LAND SURVEYORS AS SET FORTH BY THE STATE OF LOUISIANA, BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THAT THE ACCURACY SPECIFICATION AND POSITIONAL TOLERANCES ARE IN ACCORDANCE WITH CLASS C SURVEYS INDICATED IN THE ABOVE STANDARDS.

**PRELIMINARY**

APPROVAL:  
LEONARD J. CHAUVIN  
**LEONARD CHAUVIN P.E., P.L.S., INC.**  
REG. NO 4607  
CIVIL ENGINEER - LAND SURVEYOR  
627 JACKSON ST. THIBODAUX, LA.  
PHONE: (985) 448-1376



# Houma-Terrebonne Regional Planning Commission

P.O. Box 1446, Houma, Louisiana 70361  
Ph. (985) 873-6793 - Fax (985) 580-8141

## APPLICATION SUBDIVISION OF PROPERTY

### APPROVAL REQUESTED:

- A. ☐ Raw Land  
☐ Re-Subdivision
- B. ☐ Mobile Home Park  
☐ Residential Building Park
- C. ☒ Major Subdivision  
☐ Conceptual  
☐ Preliminary  
☒ Engineering  
☐ Final
- D. ☐ Minor Subdivision  
☐ Conceptual/Preliminary  
☐ Engineering  
☐ Final

Variance(s) (detailed description):

### THE FOLLOWING MUST BE COMPLETE TO ENSURE PROCESS OF THE APPLICATION:

1. Name of Subdivision: DE FRAITES DRIVE EXTENSION  
ARTHUR A. DE FRAITES, JR. & JOHN M. DE FRAITES  
991 GRAND CAILLOU ROAD, HOUMA, LA 70363
2. Developer's Name & Address: ARTHUR A. DE FRAITES, JR. & JOHN M. DE FRAITES  
991 GRAND CAILLOU ROAD, HOUMA, LA 70363  
[\* All owners must be listed, attach additional sheet if necessary]
3. Name of Surveyor, Engineer, or Architect: TERRAL J. MARTIN, JR. PLS

### SITE INFORMATION:

4. Physical Address: 991 GRAND CAILLOU ROAD
5. Location by Section, Township, Range: SECTION 105, T17S-R17E
6. Purpose of Development: EXTEND STREET
7. Land Use:  
☐ Single-Family Residential  
☐ Multi-Family Residential  
☒ Commercial  
☐ Industrial
8. Sewerage Type:  
☒ Community  
☐ Individual Treatment  
☐ Package Plant  
☐ Other
9. Drainage:  
☒ Curb & Gutter  
☐ Roadside Open Ditches  
☐ Rear Lot Open Ditches  
☐ Other
10. Date and Scale of Map: 7/01/2016, SCALE: 1"=60'
11. Council District: 1
12. Number of Lots: 0
13. Filing Fees: \$860.00

I, TERRAL J. MARTIN, JR., certify this application including the attached data to be true and correct.


TERRAL J. MARTIN, JR.  
Print Applicant or Agent

7/1/2016  
Date

  
Signature of Applicant or Agent

The undersigned certifies: initial 1) That he/she is the owner of the entire land included within the proposal, and concurs with the Application, or initial 2) That he/she has submitted with this Application a complete, true and correct listing of all of the owners of the entire land included within the proposal, that each of the listed owners concur with this Application, and that he/she has been given specific authority by each listed owner to submit and sign this Application on their behalf.

ARTHUR A. DE FRAITES, JR.  
Print Name of Signature

  
Signature

1 July 2016  
Date

PC16/ 7 - 6 - 23



LINE	CURVE	BEARING	DISTANCE	ARC DIST.	RADIUS	CH. BEARING	CH. DIST.
A-B							
B-C		N 32°58'10" E	300.00'	40.58'	3859.72'	N 47°19'46" W	40.58'
C-D		N 32°58'10" E	300.00'	108.11'	165.04'	N 11°20'15" E	106.19'
D-AA		N 83°27'09" E	127.73'				
AA-E		N 83°27'09" E	52.33'				
E-F				9.81'	11.50'	N 59°13'20" E	9.52'
F-G		N 34°46'21" E	172.90'				
G-H				5.47'	11.50'	N 21°08'08" E	5.42'
H-BB		N 07°29'55" E	108.11'				
BB-I		N 07°29'55" E	187.97'				
I-J				9.27'	10.00'	N 19°03'59" W	8.94'
J-K				199.85'	40.00'	S 82°30'05" E	48.00'
K-L				9.27'	10.00'	S 34°03'50" W	8.94'
L-CC		S 07°29'55" W	6.54'				
CC-DD		S 07°29'55" W	181.43'				
DD-M		S 07°29'55" W	108.11'				
M-N				24.51'	51.50'	S 21°08'08" W	24.28'
N-EE		S 34°46'21" W	7.78'				
EE-O		S 34°46'21" W	165.12'				
O-P				43.76'	51.50'	S 59°06'45" W	42.45'
P-FF		S 83°27'09" W	23.48'				
FF-GG		S 83°27'09" W	28.90'				
GG-HH							
HH-I				15.44'	11.50'	S 44°59'12" W	14.31'
I-JJ				49.30'	205.04'	N 07°22'03" W	49.19'
JJ-KK							
KK-L							
L-M							
M-N							
N-O							
O-P							
P-Q							
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# Houma-Terrebonne Regional Planning Commission

P.O. Box 1446, Houma, Louisiana 70361  
Ph. (985) 873-6793 – Fax (985) 580-8141

## APPLICATION SUBDIVISION OF PROPERTY

### APPROVAL REQUESTED:

- A. ☐ Raw Land  
☐ Re-Subdivision  
C. ☒ Major Subdivision  
☐ Conceptual  
☐ Preliminary  
☐ Engineering  
☒ Final  
B. ☐ Mobile Home Park  
D. ☐ Minor Subdivision

☐ Variance(s) (detailed description):

### THE FOLLOWING MUST BE COMPLETE TO ENSURE PROCESS OF THE APPLICATION:

- Name of Subdivision: SUGAR MILL OLDE TOWNE ADDENDUM NO. 2
- Developer's Name & Address: RUTTER LAND CO., L.L.C.  
\*Owner's Name & Address: P. O. BOX 745, THIBODAUX, LA 70302  
[\* All owners must be listed, attach additional sheet if necessary]
- Name of Surveyor, Engineer, or Architect: DAVID A. WAITZ ENGINEERING & SURVEYING, INC.

### SITE INFORMATION:

- INTERSECTION OF RUE ST. SYDNEY AND RUE SALA
- Physical Address: \_\_\_\_\_
  - Location by Section, Township, Range: SECTION 102, T17S-R17E
  - Purpose of Development: NEXT PHASE OF PLANNED UNIT DEVELOPMENT (PUD)
  - Land Use:  
☒ Single-Family Residential  
☐ Multi-Family Residential  
☐ Commercial  
☐ Industrial
  - Sewerage Type:  
☒ Community  
☐ Individual Treatment  
☐ Package Plant  
☐ Other
  - Drainage:  
☒ Curb & Gutter  
☐ Roadside Open Ditches  
☐ Rear Lot Open Ditches  
☐ Other
  - Date and Scale of Map: May 4, 2015 1" = 40'
  - Council District: \_\_\_\_\_
  - Number of Lots: 16
  - Filing Fees: \$215.00

I, David Waitz, P.E., certify this application including the attached date to be true and correct.

David Waitz, P.E., Agent  
Print Applicant or Agent

7/1/2016

Date

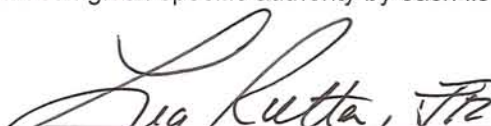
  
Signature of Applicant or Agent

The undersigned certifies: LR 1) That he/she is the owner of the entire land included within the proposal, and concurs with the Application, or initial 2) That he/she has submitted with this Application a complete, true and correct listing of all of the owners of the entire land included within the proposal, that each of the listed owners concur with this Application, and that he/she has been given specific authority by each listed owner to submit and sign this Application on their behalf.

RUTTER LAND CO., L.L.C.  
Print Name

7/1/2016

Date

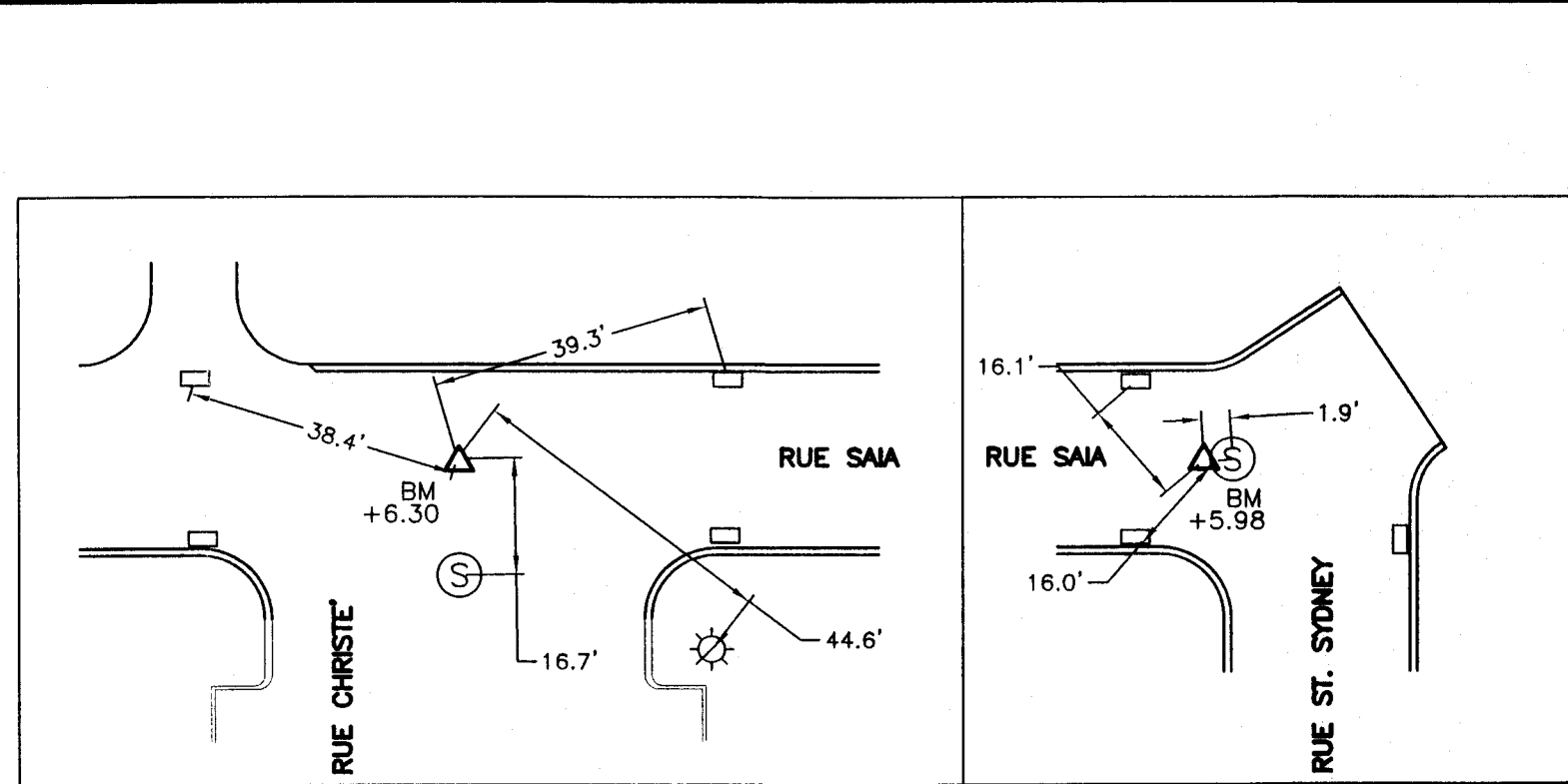
  
Signature

PC16/ 7 - 1 - 24



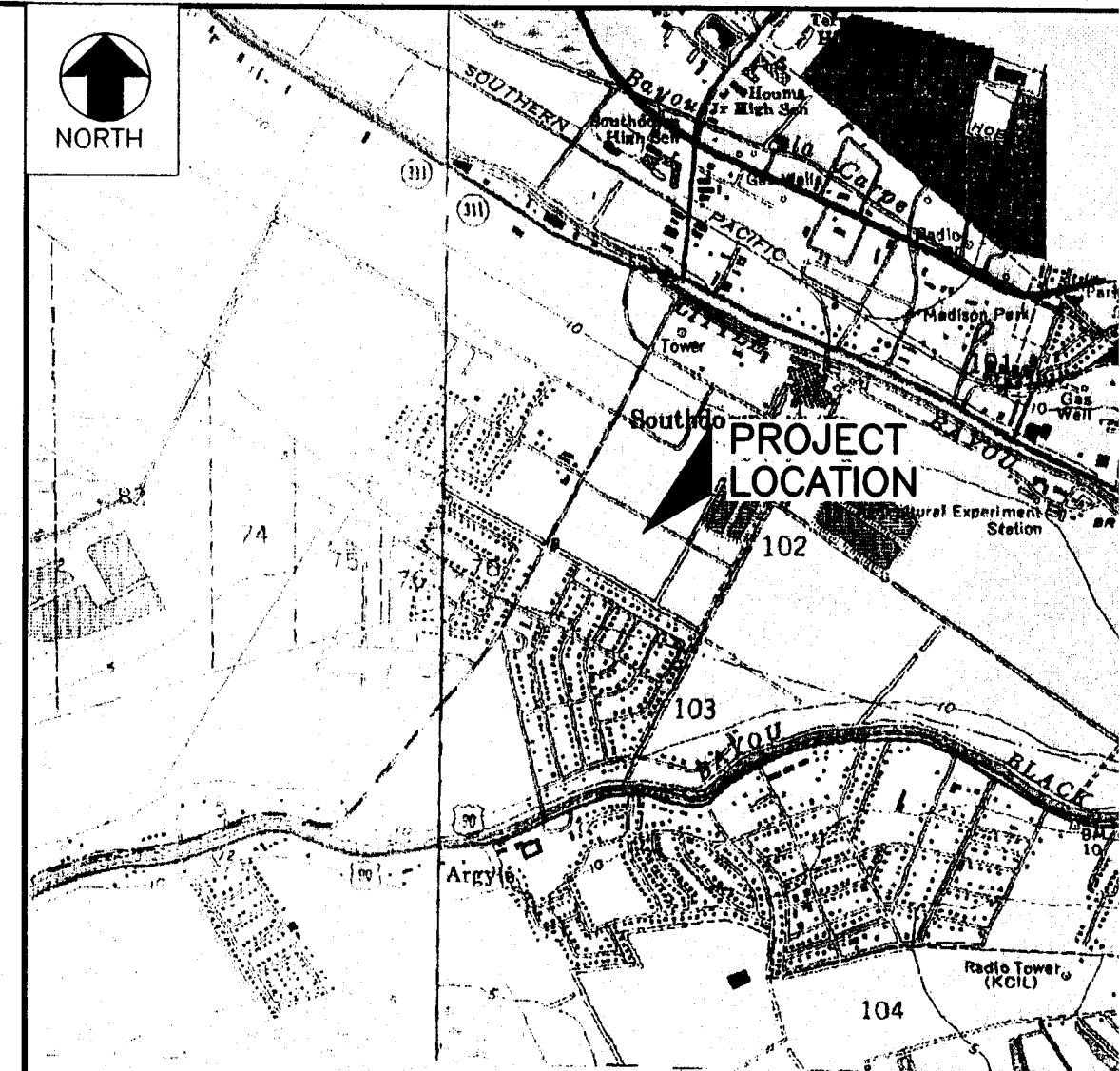
REFERENCE MAPS & BEARINGS:  
1.) SUGAR MILL OLD TOWNE  
RESIDENTIAL PLANNED UNIT DEVELOPMENT  
OWNER: RUTTER LAND CO., INC.  
SUGAR MILL OLD TOWNE (PHASE A)  
LOCATED IN SECTION 102, T17S-R17E  
TERREBONNE PARISH, LOUISIANA  
DATED: OCTOBER 12, 2004  
BY: DAVID A. WAITZ  
ENGINEERING AND SURVEYING, INC.  
2.) SUGAR MILL OLD TOWNE ADD. NO. 1 PHASE A  
RESIDENTIAL PLANNED UNIT DEVELOPMENT  
LOCATED IN SECTION 102, T17S-R17E  
TERREBONNE PARISH, LOUISIANA  
DATED: MAY 22, 2006  
BY: DAVID A. WAITZ  
ENGINEERING AND SURVEYING, INC.

NOTE: REFERENCE BEARING IS  
N63°31'23"W ALONG THE NORTHERNMOST  
RIGHT OF WAY OF RUE ST. SYDNEY  
AS SHOWN ON REF. MAP 2.



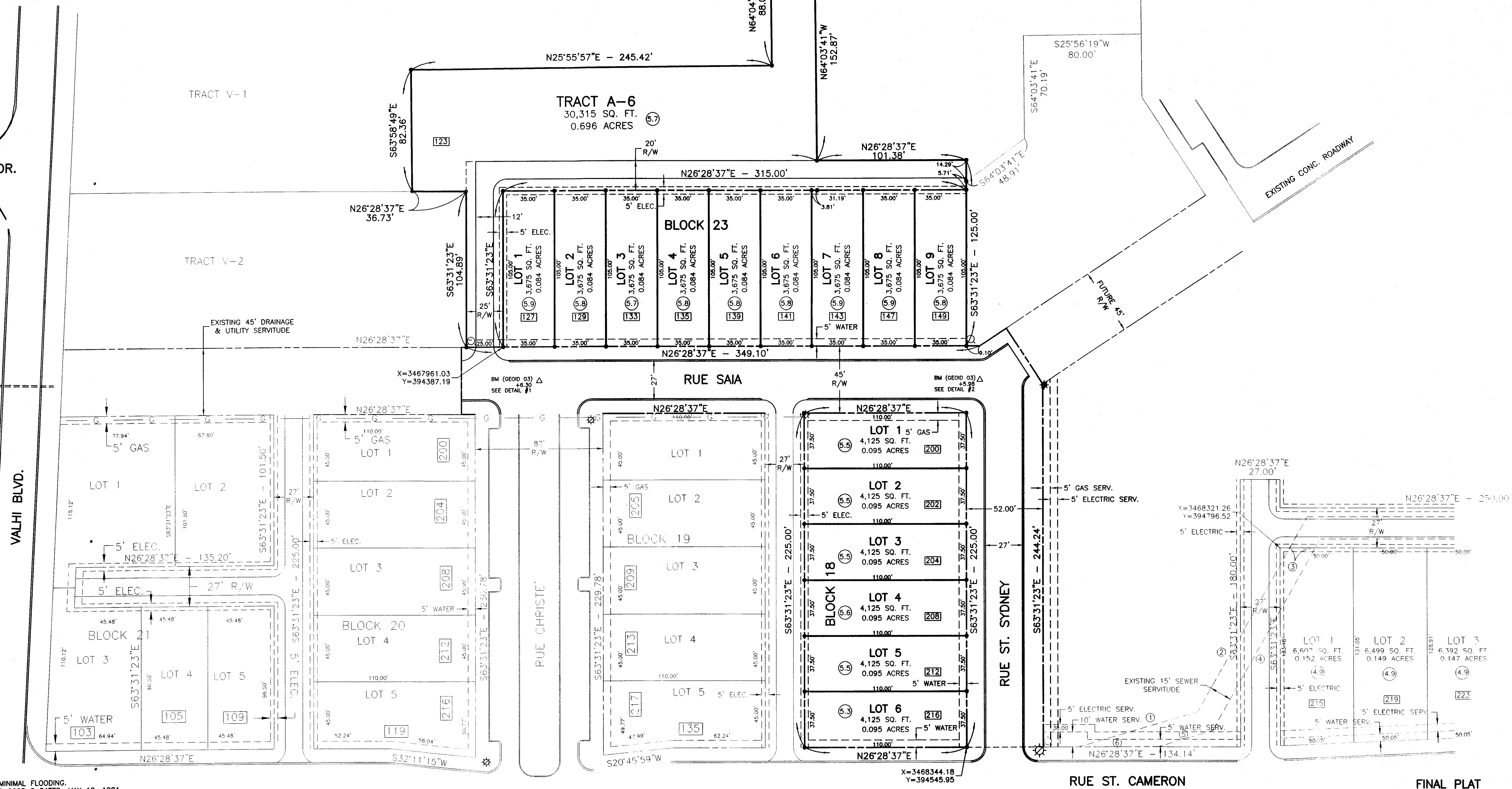
DETAIL #1  
ELEVATION BENCHMARK DETAILS  
N.T.S.

DETAIL #2  
ELEVATION BENCHMARK DETAILS  
N.T.S.



VICINITY MAP  
SCALE 1" = 2000'

LYNNWOOD DR.



LEGEND

- FOUND PROPERTY MARKER (UNLESS NOTED OTHERWISE) SET 3/4" I.R. ○  
EXISTING WATER LINE — W —  
EXISTING GAS LINE — G —  
EXISTING SEWER LINE — S —  
EXISTING OVERHEAD POWER LINE — E —  
EXISTING TELEPHONE LINE — T —  
EXISTING FENCE — X —  
EXISTING POWER POLE W/ LIGHT ⚡  
PROPOSED POWER POLE W/ LIGHT ⚡  
EXISTING POWER POLE ○  
EXISTING ANCHOR →  
EXISTING TELEPHONE PEDESTAL □  
EXISTING WATER VALVE ⚙  
EXISTING FIRE HYDRANT 🔍  
PROPOSED FIRE HYDRANT 🔍  
EXISTING WATER METER ⚙  
EXISTING GAS VALVE ⚙  
EXISTING GAS METER ⚙  
EXISTING SEWER MANHOLE ⚙  
EXISTING CATCH BASIN WITH SUBSURFACE DRAINAGE ⚙  
PHYSICAL ADDRESS [XXX]  
C/L LOT ELEVATION (X)  
2" DIAMETER BRASS DISK (IN FEET, NAVD 88, GEOID 03) (DATE SET MAY 6, 2016) BM Δ

FEMA FLOOD ZONE AND HAZARDS  
THIS LOT IS LOCATED IN ZONE C, AREAS OF MINIMAL FLOODING.  
FEMA MAP COMMUNITY PANEL NUMBER 220220 0005 C DATED: MAY 19, 1981  
TERREBONNE PARISH ADVISORY BASE FLOOD ELEVATION MAP # LA-0102  
DATED: FEBRUARY 23, 2006 FLOOD ZONE: A A.B.F.E. = 6.0'

CERTIFICATIONS  
THIS IS TO CERTIFY THAT THIS SURVEY WAS DONE BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL, THAT THE SURVEY WAS DONE ON THE GROUND AND WAS DONE IN ACCORDANCE WITH THE MOST RECENT MINIMUM STANDARDS OF PRACTICE FOR LAND SURVEYORS AS SET FORTH BY THE STATE OF LOUISIANA, BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THAT THE ACCURACY SPECIFICATION AND POSITIONAL TOLERANCES ARE IN ACCORDANCE WITH CLASS "C" SURVEYS INDICATED IN THE ABOVE STANDARDS.

I ALSO CERTIFY THERE ARE NO ENCROACHMENTS ACROSS ANY PROPERTY LINES EXCEPT AS SHOWN

APPROVED: **PRELIMINARY COPY:**  
**THIS DOCUMENT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING, RECORDATION, CONVEYANCE, SALES, OR AS THE BASIS FOR THE ISSUANCE OF A PERMIT.**  
David A. Waitz Reg. No. 4744

NOTE: NO STRUCTURE, FILL, OR OBSTRUCTION SHALL BE LOCATED WITHIN ANY DRAINAGE EASEMENT OF DELINEATED FLOOD PLAIN.

DEDICATION:

THIS IS TO CERTIFY THAT A SERVITUDE OF PASSAGE AND THE RIGHT TO INSTALL, MAINTAIN DRAINAGE, ELECTRICAL, COMMUNICATION, GAS, SEWER & WATER UTILITIES IS HEREBY CREATED IN FAVOR OF THE TERREBONNE PARISH CONSOLIDATED GOVERNMENT SOUTH CENTRAL BELL VISION CABLE AND THE CITY OF HOUMA OVER AND IN ALL THESE CERTAIN STREETS AND SERVITUDES AS NAMED HEREON AND/OR SHOWN ON THIS PLAT OF SUBMISSION AND BELONGING TO THE UNDERSIGNED FEE TITLE OWNERSHIP OF SAID STREET RIGHT-OF-WAY AND SERVITUDES IS EXPRESSLY RETAINED. MINERAL RIGHTS ARE SPECIALLY EXCLUDED AND ARE RETAINED IN FULL BY THE OWNER THEREOF.

BY: RUTTER LAND CO., INC.

CERTIFICATION:

I HEREBY CERTIFY THAT THIS PLAT IS IN ACCORDANCE WITH THE REQUIREMENTS OF THE TERREBONNE PARISH CONSOLIDATED GOVERNMENT, STATE OF LOUISIANA, AS TO THE BLOCK LAYOUT AND STREET ALIGNMENT, AND I HEREBY APPROVE THE SAME.

BY: TERREBONNE PARISH CONSOLIDATED GOVERNMENT

APPROVE AND ACCEPTED THIS DATE BY THE HOUMA TERREBONNE REGIONAL PLANNING COMMISSION.

APPROVED BY: FOR:

APPROVALS

RUTTER LAND CO., INC.

DATE

RUE ST. CAMERON



DATE	DESCRIPTION	BY	CHECKED: DAW	DATE: MAY 4, 2015
5/2/16	RECORD DRAWING	JED	DESIGNED: DAW	FILE: F:\DWGS\2014\14-135\PLAT.dwg
	REVISION		DETAILED: JED	JOB NO: 2014-135

FINAL PLAT  
SUGAR MILL OLDE TOWNE ADDENDUM NO. 2  
RESIDENTIAL PLANNED UNIT DEVELOPMENT (CLUSTER HOUSING)  
OWNER: RUTTER LAND CO., INC.

SUGAR MILL OLDE TOWNE ADDENDUM NO. 2  
LOCATED IN SECTION 102, T17S-R17E  
TERREBONNE PARISH, LOUISIANA

DAVID A. WAITZ  
ENGINEERING AND SURVEYING, INC.  
Civil Engineers & Professional Land Surveyors  
Thibodaux, Louisiana

DESIGNED: DAW  
CHECKED: DAW  
DATE: MAY 4, 2015  
DETAILED: JED  
CHECKED: DAW  
JED  
TRACED: JED  
FILE: F:\DWGS\2014\14-135\PLAT.dwg  
JOB NO: 2014-135