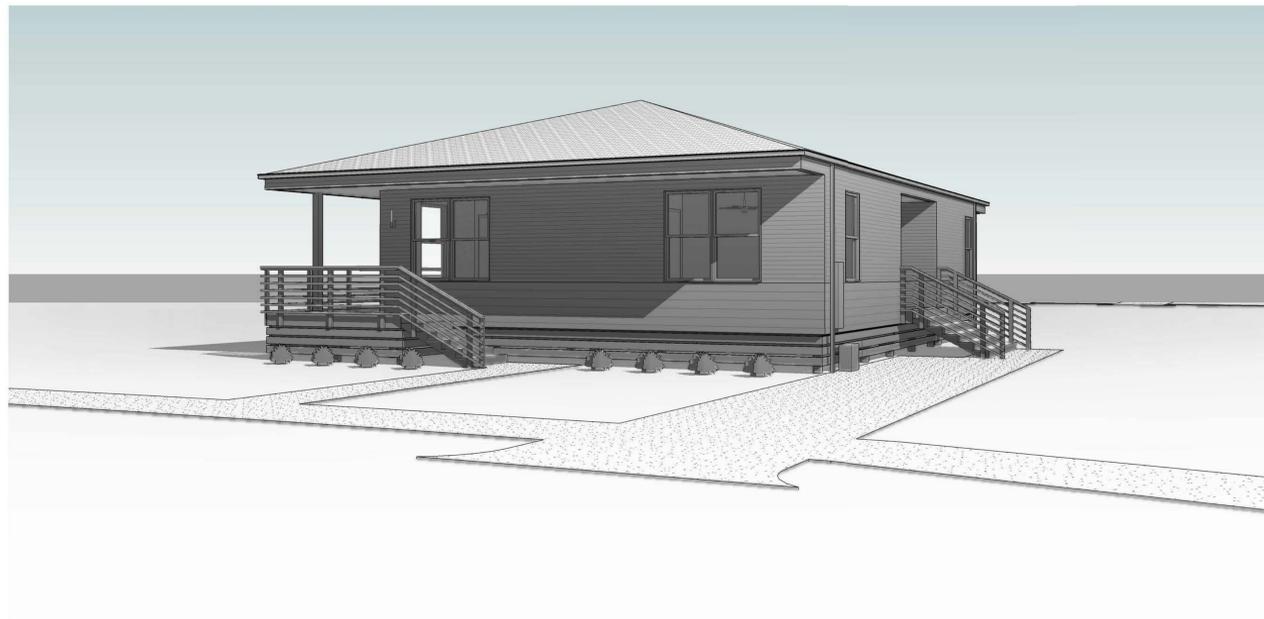


Plan #12

- Provided for use by builders as a starting point and applicants to see various housing options and have engineering to receive bids.
- Applicants are not limited to these options. They are provided as a courtesy.
- Grant provided reconstructions are limited to the size of the damaged structure or smaller.
- Grant value for the FEMA programs is reduced by any funding reasonably available from other sources.



The images included on this sheet are to convey the general design intent of the project and may not be totally accurate, therefore, should not be considered part of the contract documents

5114 FELICIANA / 5142 FELICIANA / 5159 MONTEGUT
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COVER SHEET

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CLARIFICATION OF SYMBOLS
FIRE EXTINGUISHER

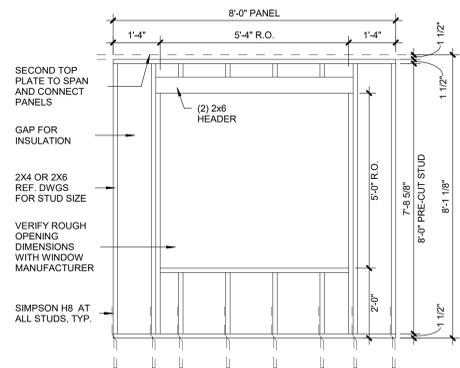
- F.E.C RECESSED FIRE EXTINGUISHER CABINET (10 44 0)
- F.E.C SEMI-RECESSED FIRE EXTINGUISHER CABINET (10 44 0)
- F.E.C SURFACE MOUNTED FIRE EXTINGUISHER CABINET (10 44 0)
- F.E WALL HUNG FIRE EXTINGUISHER (10 44 0)

GENERAL NOTES

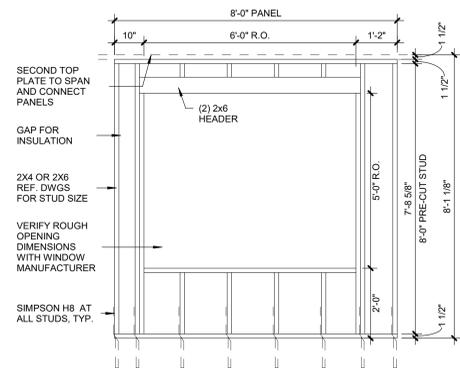
- UNLESS OTHERWISE INDICATED, ALL INTERIOR PARTITION DIMENSIONS ARE FACE TO FACE TO FINISH SURFACES.
- UNLESS OTHERWISE INDICATED ON FLOOR PLAN(S) OR REFLECTED CEILING PLAN(S), ALL CEILING HEIGHTS ARE 8'-0"
- FOR ROOM FINISH SCHEDULE, FRAME AND DOOR SCHEDULE, CLARIFICATION OF REFERENCE DESIGNATION FOR INTERIOR PARTITIONS, REFER TO SHEET 3.1
- ALL DIMENSIONS SHOWN AT EXISTING CONDITIONS ARE PLUS OR MINUS AND SHOULD BE VERIFIED, IF NECESSARY, ON THE PROJECT SITE.

RENOVATION GRAPHICS
(UNLESS OTHERWISE INDICATED)

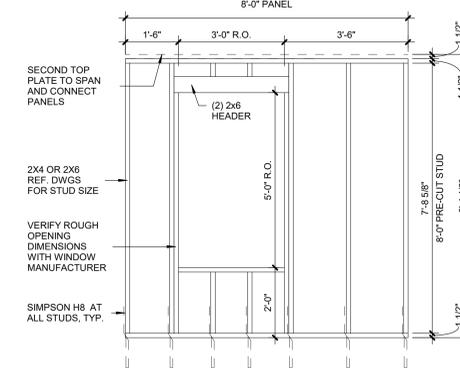
- EXISTING WALLS, PARTITIONS, COLUMNS TO REMAIN
- EXISTING FIXTURES, EQUIPMENT TO REMAIN
- NEW WALLS, PARTITIONS, COLUMNS
- NEW FIXTURES, EQUIPMENT
- EXISTING WALLS, PARTITIONS, COLUMNS TO BE REMOVED
- EXISTING FIXTURES, EQUIPMENT, ETC. TO BE REMOVED
- EXISTING FIXTURES, EQUIPMENT, ETC. TO BE REMOVED AND REINSTALLED
- EXISTING FIXTURES, EQUIPMENT, ETC. REINSTALLED FROM ITS PREVIOUS LOCATION



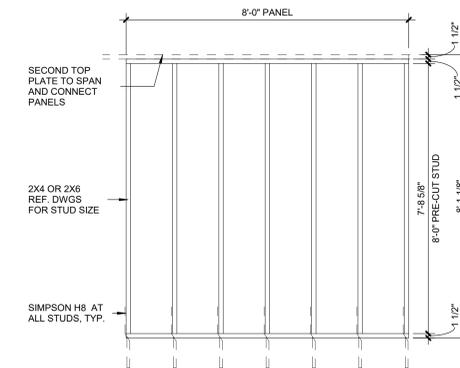
11 PANEL ELEVATION (8D) - 8' DOUBLE WINDOW
1/2" = 1'-0"



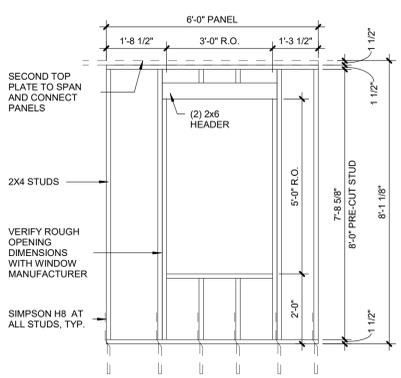
10 PANEL ELEVATION (8C) - 8' DOUBLE WINDOW
1/2" = 1'-0"



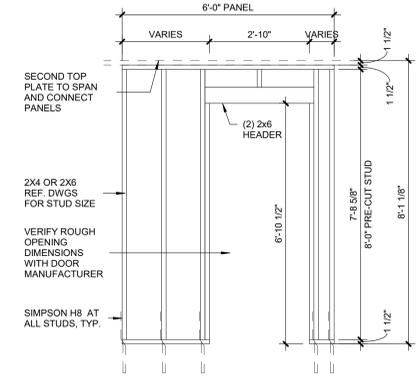
09 PANEL ELEVATION (8B) - 8' WITH WINDOW
1/2" = 1'-0"



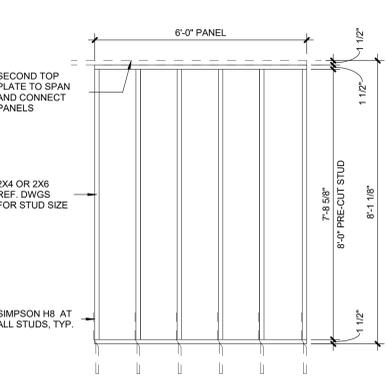
08 PANEL ELEVATION (8A) - 8'
1/2" = 1'-0"



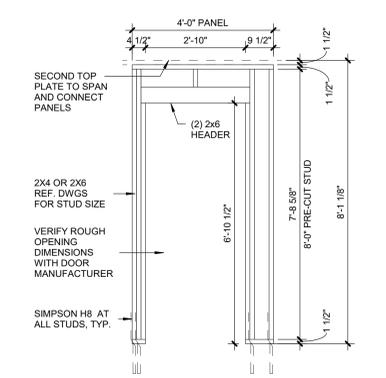
07 PANEL ELEVATION (6C) - 6' WITH WINDOW
1/2" = 1'-0"



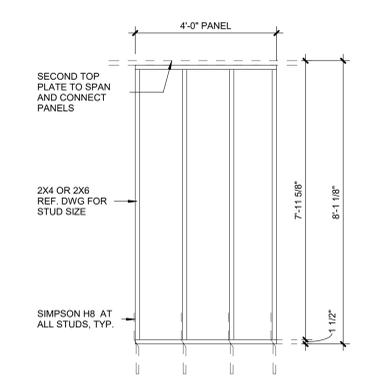
06 PANEL ELEVATION (6B) - 6' WITH DOOR
1/2" = 1'-0"



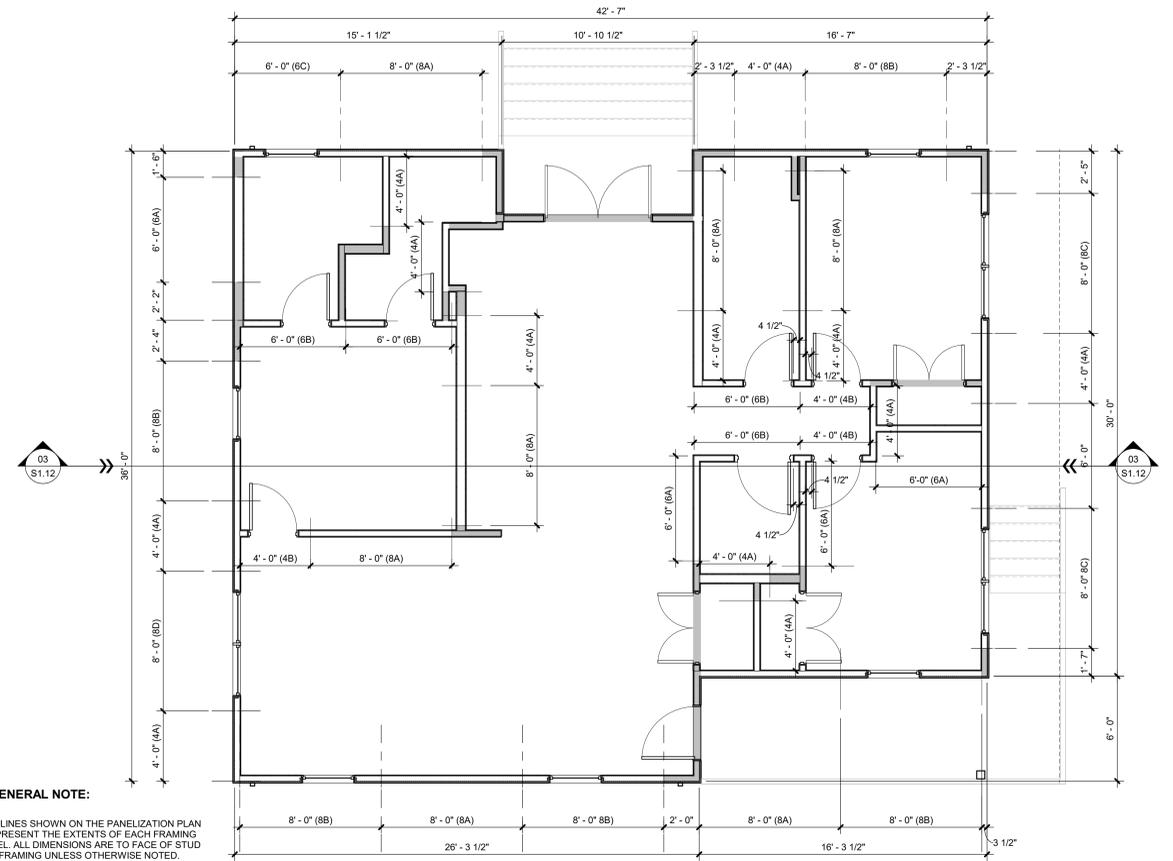
05 PANEL ELEVATION (6A) - 6'
1/2" = 1'-0"



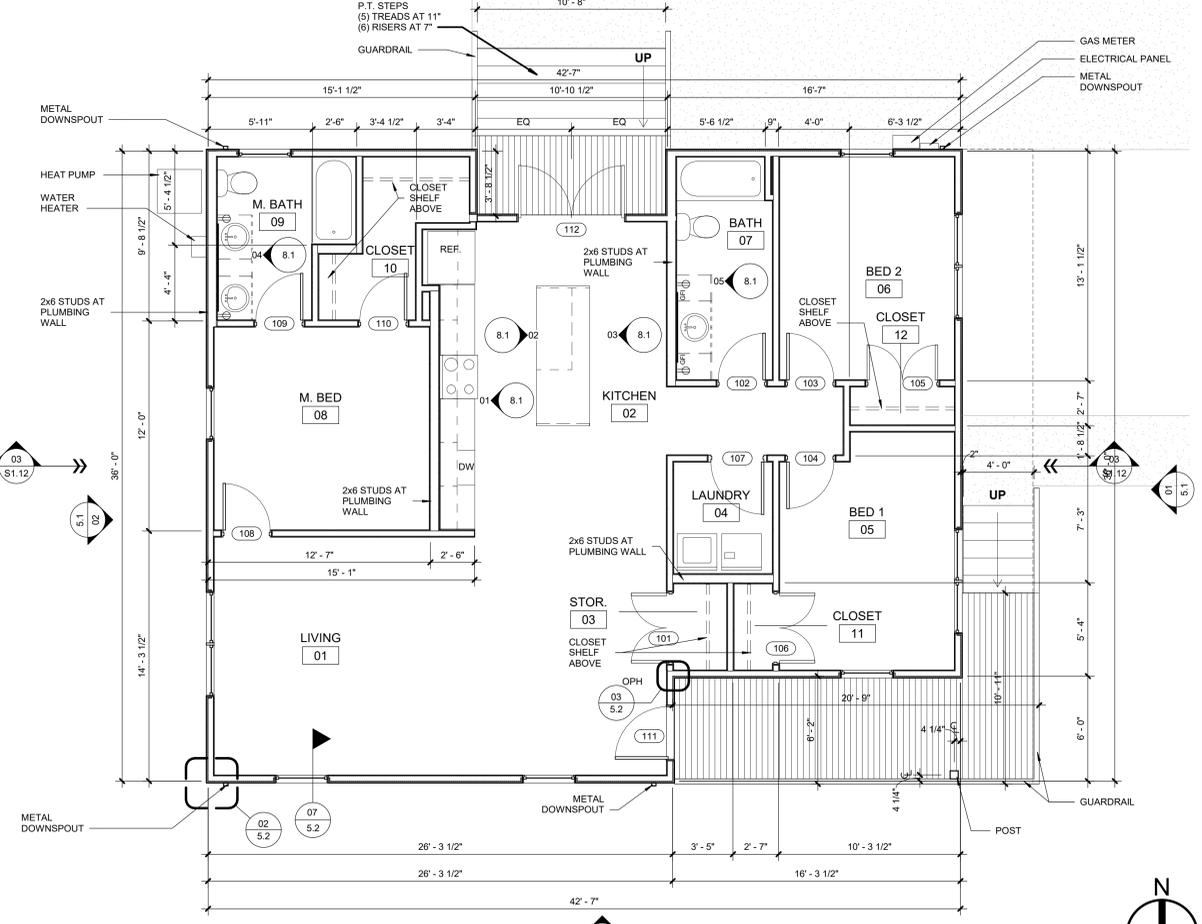
04 PANEL ELEVATION (4B) - 4' WITH DOOR
1/2" = 1'-0"



03 PANEL ELEVATION (4A) - 4'
1/2" = 1'-0" | "4A"



02 FIRST FLOOR PANELIZATION PLAN
1/4" = 1'-0"



01 FIRST FLOOR PLAN
1/4" = 1'-0"

GENERAL NOTE:
GRIDLINES SHOWN ON THE PANELIZATION PLAN REPRESENT THE EXTENTS OF EACH FRAMING PANEL. ALL DIMENSIONS ARE TO FACE OF STUD FRAMING UNLESS OTHERWISE NOTED.
SEE ELEVATIONS FOR FURTHER WINDOW PLACEMENT.
GREY SHADED PARTITIONS INDICATE CUSTOM STICK FRAMING.

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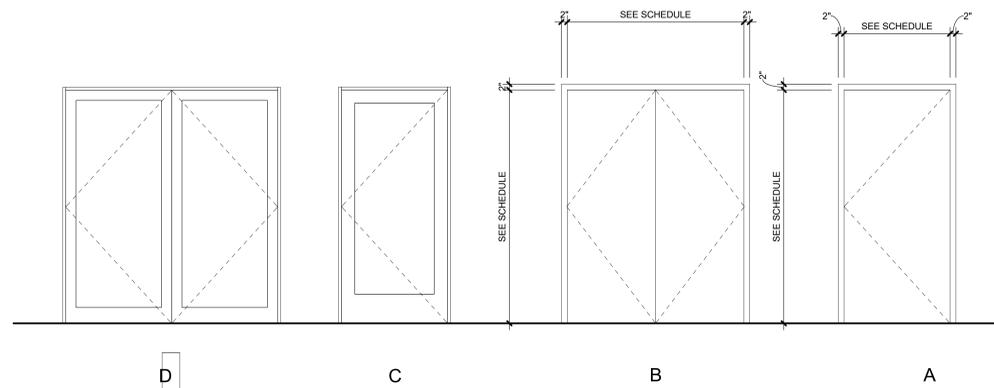
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REVISIONS

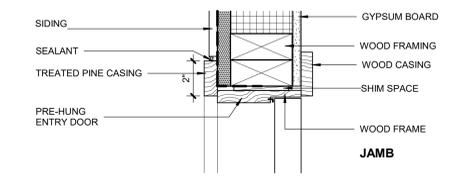
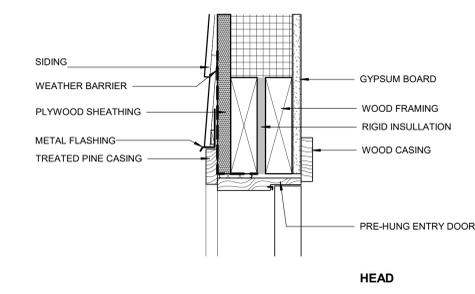
FIRST FLOOR PLAN

FINISH SCHEDULE							
NO.	ROOM NAME	FLOOR	BASE	WALL	ACCENT WALL	CEILING	COMMENTS
FIRST FLOOR							
01	LIVING		LAMINATE	WOOD	PAINTED GYP	PAINTED GYP	
02	KITCHEN		LAMINATE	WOOD	PAINTED GYP	PAINTED GYP	
03	STOR.		LAMINATE	WOOD	PAINTED GYP	PAINTED GYP	
04	LAUNDRY		CERAMIC TILE	CERAMIC TILE	PAINTED GYP	PAINTED GYP	
05	BED 1		LAMINATE	WOOD	PAINTED GYP	PAINTED GYP	
06	BED 2		LAMINATE	WOOD	PAINTED GYP	PAINTED GYP	
07	BATH		CERAMIC TILE	CERAMIC TILE	PAINTED GYP	PAINTED GYP	
08	M. BED		LAMINATE	WOOD	PAINTED GYP	PAINTED GYP	
09	M. BATH		CERAMIC TILE	CERAMIC TILE	PAINTED GYP	PAINTED GYP	
10	CLOSET		LAMINATE	WOOD	PAINTED GYP	PAINTED GYP	
11	CLOSET		LAMINATE	WOOD	PAINTED GYP	PAINTED GYP	
12	CLOSET		LAMINATE	WOOD	PAINTED GYP	PAINTED GYP	

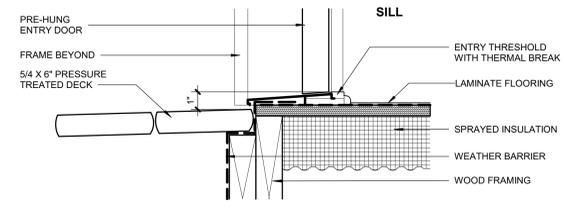
FRAME AND DOOR SCHEDULE												
NOTES: 1. UNLESS OTHERWISE NOTED, ALL DOORS SHALL BE 1-3/4" THICK AND ALL FRAMES SHALL BE WOOD.												
DOOR NUMBER	TYPE	OPENING		FRAME		DETAIL NUMBER	DOOR		FIRE RATING	STC RATING	HARDWARE SET	REMARKS
		WIDTH	HEIGHT	MATERIAL	FINISH		DOOR (OR OPENING) DESCRIPTION	MATERIAL				
101	H	4'-0"	6'-8"	WOOD	PAINTED		HOLLOW WOOD	HOLLOW WD				
102	A	2'-8"	6'-8"	WOOD	PAINTED		HOLLOW WOOD	HOLLOW WD				
103	A	2'-8"	6'-8"	WOOD	PAINTED		HOLLOW WOOD	HOLLOW WD				
104	A	2'-8"	6'-8"	WOOD	PAINTED		HOLLOW WOOD	HOLLOW WD				
105	H	4'-0"	6'-8"	WOOD	PAINTED		HOLLOW WOOD	HOLLOW WD				
106	H	4'-0"	6'-8"	WOOD	PAINTED		HOLLOW WOOD	HOLLOW WD				
107	A	3'-0"	6'-8"	WOOD	PAINTED		HOLLOW WOOD	HOLLOW WD				
108	A	2'-8"	6'-8"	WOOD	PAINTED		HOLLOW WOOD	HOLLOW WD				
109	A	2'-8"	6'-8"	WOOD	PAINTED		HOLLOW WOOD	HOLLOW WD				
110	A	2'-8"	6'-8"	WOOD	PAINTED		HOLLOW WOOD	HOLLOW WD				
111	C	3'-0"	6'-8"	TREATED WOOD/ FIBERGLASS	PAINTED		FIBERGLASS AND GLASS ENTRANCE	FIBERGLASS				
112	D	6'-0"	6'-8"	TREATED WOOD/ FIBERGLASS	PAINTED		FIBERGLASS AND GLASS TERRACE	FIBERGLASS				



03 FRAME AND DOOR TYPES
1/2" = 1'-0"



02 SECTION THRU PRE-HUNG ENTRY DOOR
3" = 1'-0"



01 SECTION THRU PRE-HUNG ENTRY SILL
3" = 1'-0"

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REVISIONS

DOOR FRAME AND HARDWARE



04 LEFT FACADE
2.1 | 1/4" = 1'-0" |



03 RIGHT FACADE
2.1 | 1/4" = 1'-0" |



02 REAR FACADE
3.5 | 1/4" = 1'-0" |



01 FRONT FACADE
2.1 | 1/4" = 1'-0" |

REFERENCE DESIGNATIONS

GLASS TYPES (08 81 00)
NOTE: UNLESS OTHERWISE INDICATED
ALL GLASS SHALL BE IG-1 INSULATING GLASS

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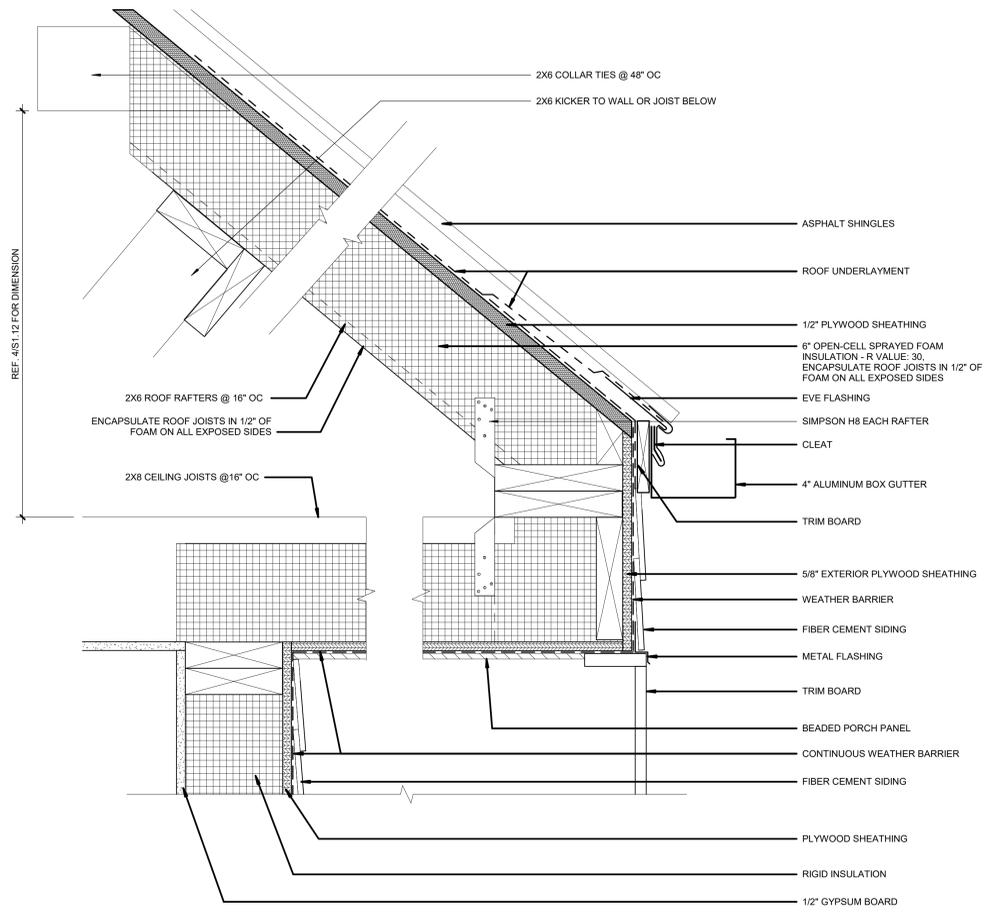


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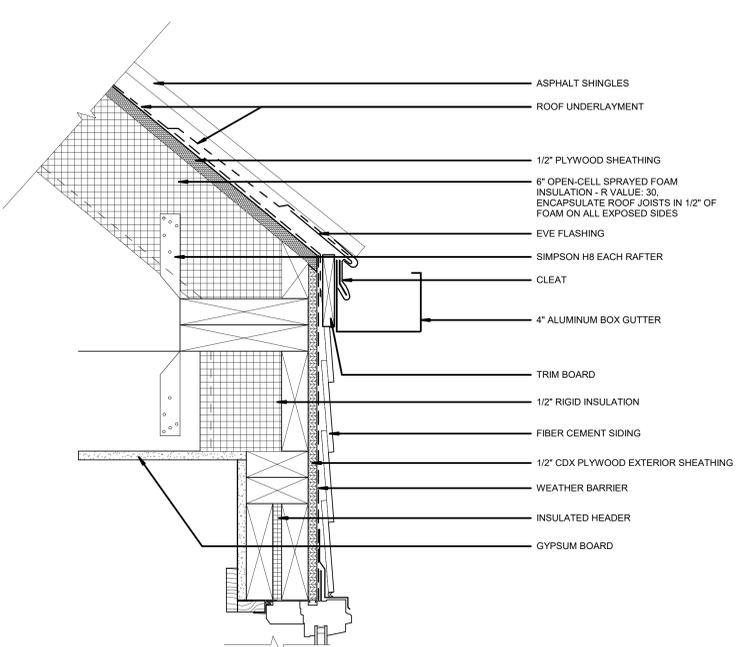
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REVISIONS

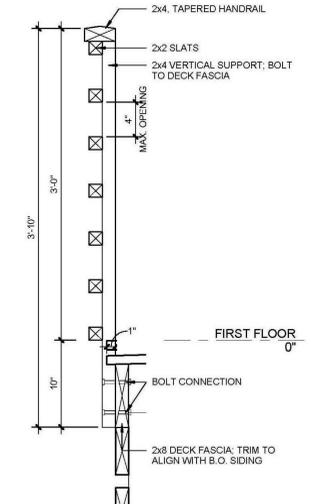
EXTERIOR ELEVATIONS



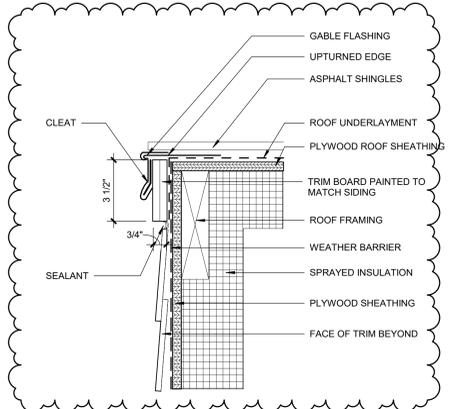
08 DETAIL AT PORCH SOFFIT
S1.12 | 3" = 1'-0"



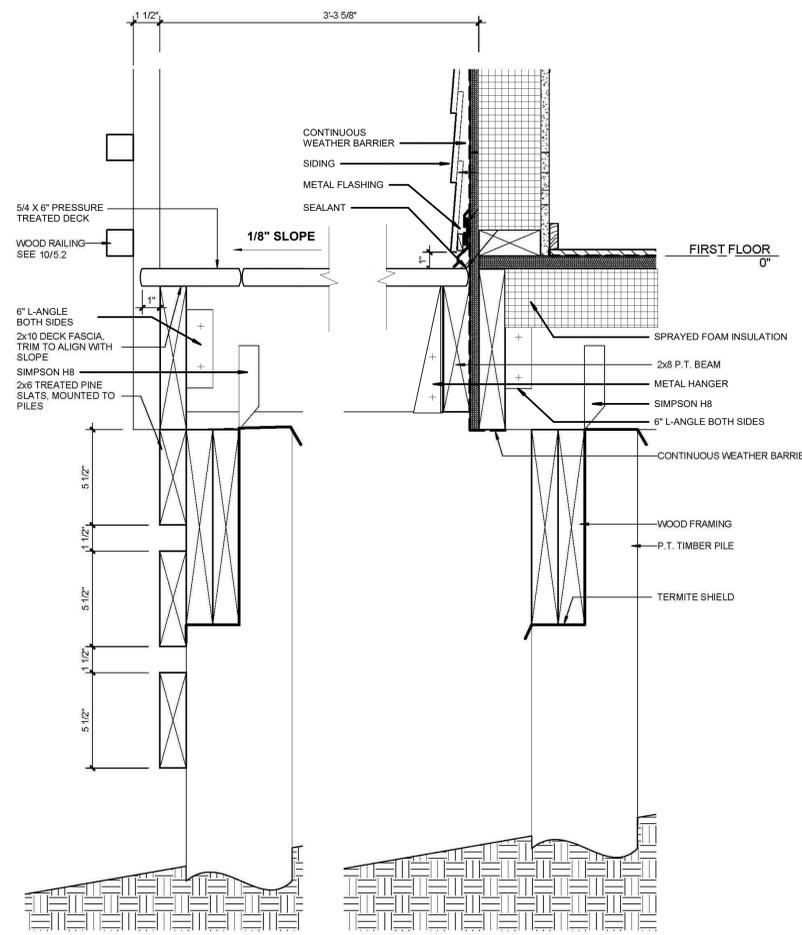
07 WALL SECTION DETAIL AT WINDOW HEAD
2.1 | 3" = 1'-0"



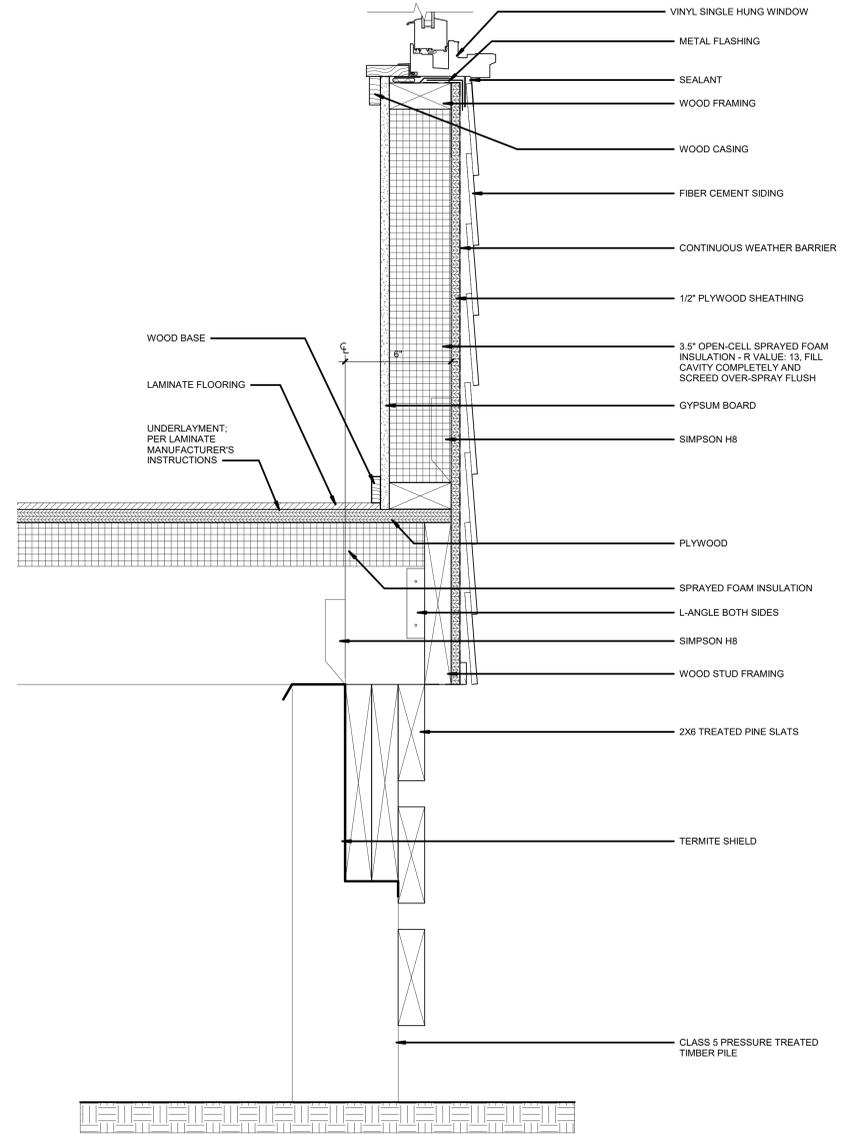
05 SECTION AT HANDRAIL
3" = 1'-0"



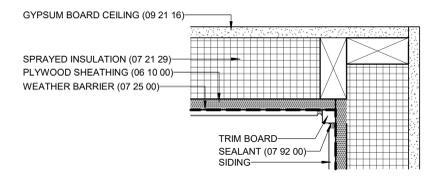
04 SECTION THRU GABLE END
3" = 1'-0"



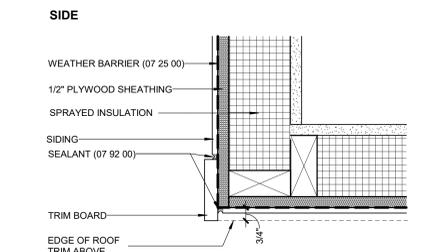
09 DETAIL AT PORCH FRAMING
08.10 | 3" = 1'-0"



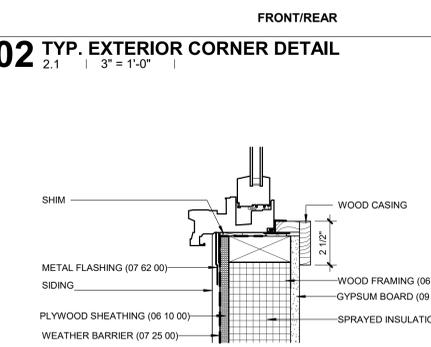
06 WALL SECTION DETAIL AT WINDOW SILL
3" = 1'-0"



03 TYP. INTERIOR CORNER DETAIL
2.1 | 3" = 1'-0"



02 TYP. EXTERIOR CORNER DETAIL
2.1 | 3" = 1'-0"



01 SECTION THRU TYP. WINDOW JAMB
3" = 1'-0"

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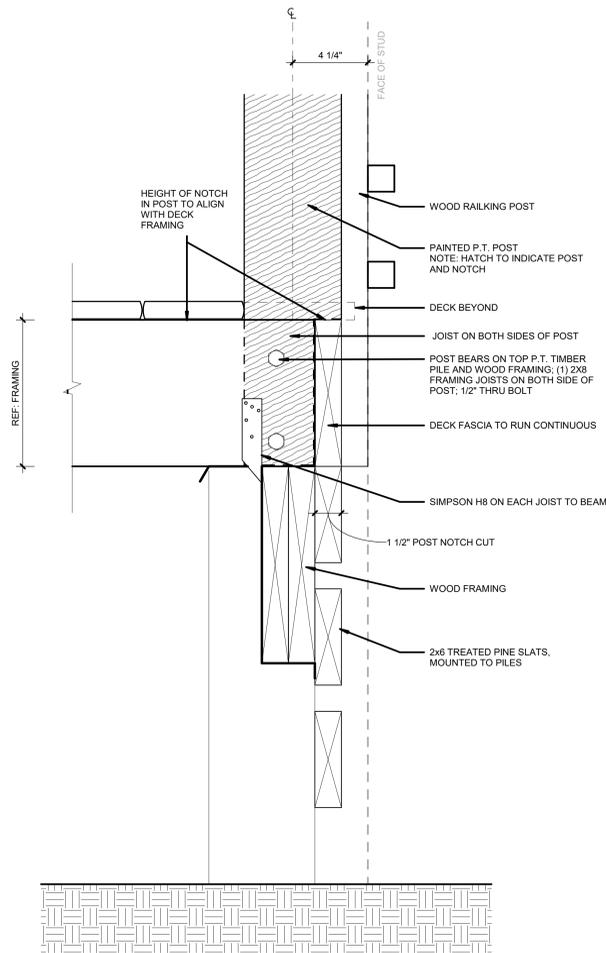


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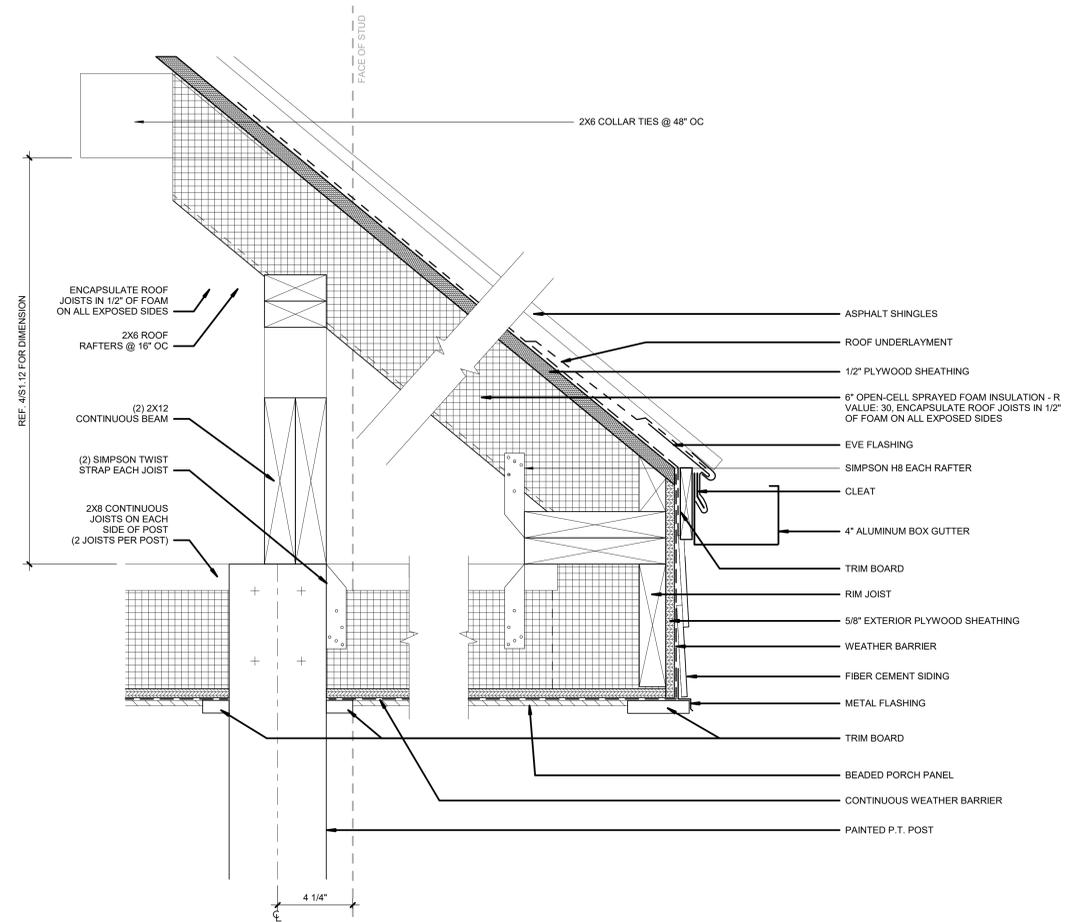
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REVISIONS
24 OCT 2014 ADDENDUM 2

SECTION DETAILS



02 WALL SECTION DETAIL AT PORCH BASE
 S1.10 | 3" = 1'-0"



01 DETAIL AT PORCH SOFFIT WITH POST
 S1.12 | 3" = 1'-0"

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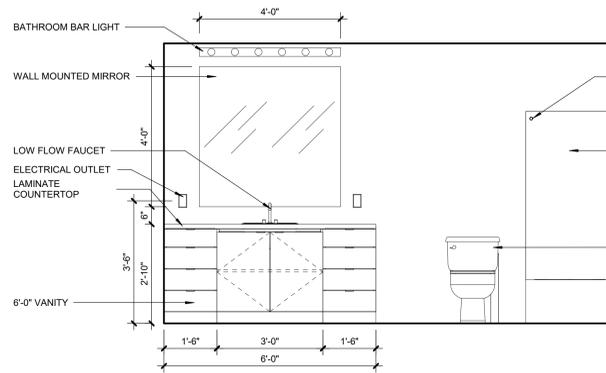
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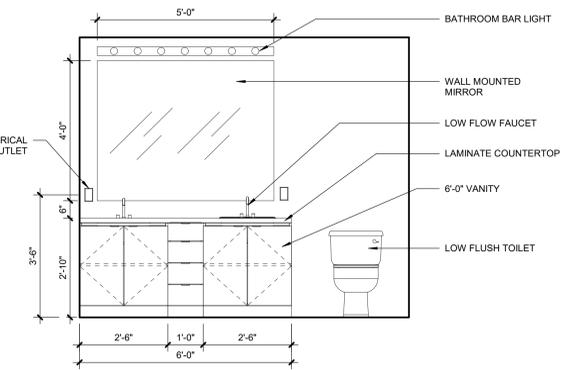
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REVISIONS

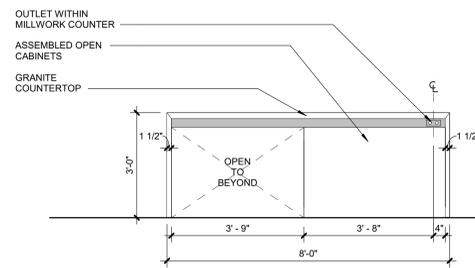
SECTION DETAILS



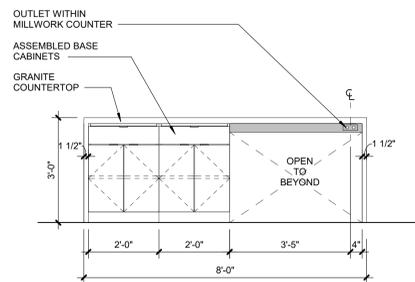
05 ELEVATION AT BATH
2.1 | 1/2" = 1'-0"



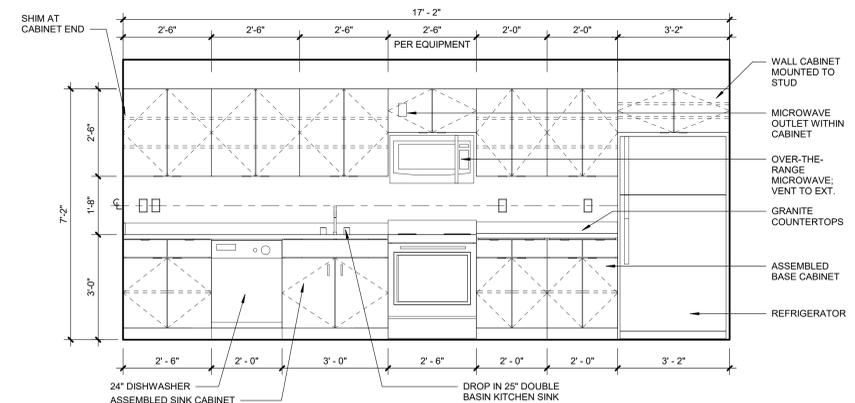
04 ELEVATION AT MASTER BATH
2.1 | 1/2" = 1'-0"



03 KITCHEN ISLAND - OPEN SHELVING
2.1 | 1/2" = 1'-0"



02 KITCHEN ISLAND - CABINET
2.1 | 1/2" = 1'-0"



01 ELEVATION AT KITCHEN
2.1 | 1/2" = 1'-0"

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REVISIONS

INTERIOR ELEVATIONS

GENERAL NOTES:

- 1. All work shall conform to the governing codes and regulations.
2. Contractor to familiarize oneself with the existing conditions of the site and its surroundings prior to bidding.
3. Contractor to install a job site safety barrier at the perimeter of the site prior to the start of construction activities.
4. Contractor to coordinate between the various trades as well as the sequence of work. The documents represent a finished project.
5. Coordinate the local authority having jurisdiction for scheduling the required inspections. Do not enclose any systems or walls until having received inspection approvals.
6. Contractor to keep job site free from accumulation of debris and construction waste. All debris and waste to be removed weekly.
7. It is the Contractor's sole responsibility to design temporary bracing and shoring to maintain the stability of the project throughout the course of construction.
8. All exterior penetrations through the building envelope are to be sealed, waterproofed, and insulated. Verify completion prior to covering.
9. Contractor to coordinate required locations and provide blocking as needed for final installation of all equipment, devices, fixtures, and cabinets.

PRE-CONSTRUCTION NOTES:

- 1. The existence and location of underground and other utilities and construction indicated as existing are not guaranteed. Before beginning site work, investigate and verify the existence and location of underground utilities, and other construction affecting the Work.
2. Before proceeding with each component of the Work, examine substrates, areas, and conditions with Installer or Applicator present, where indicated, for compliance with requirements for installation tolerances and other conditions affecting performance.
3. Before proceeding to lay out the Work, verify layout information shown on Drawings in relation to the property survey and existing benchmarks. If discrepancies are discovered, notify Architect promptly.
4. Clean and provide maintenance on completed construction as frequently as necessary through the remainder of the construction period. Adjust and lubricate operable components to ensure operability without damaging effects.
5. House foundation footprint and perimeter to receive soil treatment prior to the start of construction for subterranean termites.

PILING AND FOUNDATION NOTES:

- 1. Design Capacity: 4.0 Tons
2. Piles shall be treated southern pine rough peeled conforming to specification for round timber piles ASTM D-25" and shall have a 6" minimum diameter at the tip and a 8" minimum diameter at the butt.
3. The tips of all piles should be driven to a minimum depth of 30' below existing grade.
4. Piles shall be driven using a Vulcan #2 hammer or a 3,000lb drop hammer. Vibratory or compaction hammer not allowed.
5. Default shall be 12 blows per foot for two consecutive feet. Provide Architect with blow count logs within 1 day of driving.
6. Treat cut off pile top with copper naphthenate conforming to A.W.P.A. specification M4.

FRAMING NOTES:

- 1. Design Live Loading is as follows:
a. Roof: 20 psf
b. Ceiling: 20 psf
c. Floor: 40 psf
2. Design Wind Loading as follows:
a. Design Wind Speed: 130 mph
b. Exposure Factor: B
c. Importance Factor: 1.0
3. All wood framing, fabrication, and installation to be in accordance with the International Residential Code 2015 edition with the Orleans Parish amendments, ASCE 7-05, conform to the Wood Framing Construction Manual for One- and Two-Family Dwellings 2015 edition and the Plywood Design Specification by the APA.
4. All lumber to be southern yellow pine KD #2.
5. Fasten all members per IRC 2015 schedules.
6. Provide double studs at all wall openings unless noted otherwise.
7. Provide double joists under walls unless noted otherwise.
8. Provide continuous uplift resistance path utilizing Simpson strapping, hangers, and connectors from foundation up to roof trusses.
9. All joist and beam hangers, hurricane clips, and other tie anchors or connectors shall be as manufactured by Simpson Strong-Tie and shall be attached with fasteners per manufacturer's instructions.
10. Unless otherwise noted all roof sheathing to be APA rated 48/24 @ 1/2" thick glued and screwed in place.
11. Unless otherwise noted all plywood floor sheathing to be APA rated 48/24 @ 1/2" thick glued and screwed in place.
12. All wood exposed to the exterior including but not limited to first floor beams, framing, bridging, decking, railing, stair stringers to be pressure treated.

THERMAL ENVELOPE NOTES:

- 1. Closed-Cell Spray Polyurethane Foam of type indicated below shall be installed continuously between floor framing joists and as detailed, in accordance with manufacturer's instructions, to a thickness producing an R-Value = 13.
a. Type II, minimum density of 1.5 lb/cu. ft. (24 kg/cu. m.)
2. Open-Cell Spray Polyurethane Foam of type indicated below shall be installed continuously between exterior studs and as detailed, in accordance with manufacturer's instructions, to a thickness producing an R-Value = 13.
a. Minimum density of 0.4 lb/cu. ft. (6.4 kg/cu. m.) and qualifies as an air barrier.
3. Open-Cell Spray Polyurethane Foam of type indicated below shall be installed continuously between roof framing members and as detailed in accordance with manufacturer's instructions to a thickness producing an R-Value = 30.
a. Minimum density of 0.4 lb/cu. ft. (6.4 kg/cu. m.)
4. Spun-bonded Polyolefin, Non-woven, Non-perforated, Weather Barrier of performance indicated below shall be installed continuously across exterior sheathing and as detailed in accordance with manufacturer's instructions. Provide all materials, including seam tape, fasteners and flashings from a single source.
a. Air Penetration: <0.04 cm/ft. at 1.57 psf, when tested in accordance with ASTM E2178, Type 1 per ASTM E1677.
b. Tear Resistance: 8/6 lbs, when tested in accordance with ASTM D1117.
c. Tensile Strength: 30/30 lbf/in., when tested in accordance with ASTM D882.
5. Glass-Fiber-Reinforced Asphalt Shingles bearing a limited lifetime warranty shall be installed over a warrantable roof underlayment covering for the entirety of the roof slopes in accordance with manufacturer's instructions. Provide all materials, including seam tape, fasteners and flashings from a single source.
6. Fiber-Cement Siding bearing a 10-year material and workmanship warranty shall be installed over weather barrier. Provide all materials, including metal flashings and trim from a single source.
7. Pre-Finished Aluminum Gutters and Downspouts bearing a 10-year finish warranty shall be installed at horizontal roof edges as indicated on the Drawings. Provide catchment blocks at all downspout discharge locations.
8. Sheet Metal Flashing and Trim: Fabricate flashing and trim to comply with manufacturer's standard procedures and processes, as necessary to fulfill indicated performance requirements demonstrated by laboratory testing. Comply with indicated profiles and with dimensional requirements.
a. Stainless Steel: 26 ga.

WINDOWS AND DOOR NOTES:

- 1. Pre-Finished Interior Hollow-Core Doors shall be 1-3/8 inches thick and sized per the schedule on the Drawings. Faces shall be molded hardboard or MDF.
2. Pre-Finished Fiberglass Exterior Doors bearing a limited lifetime warranty shall be 1-3/4 inches thick and sized as indicated on the Drawings and meet performance requirements as indicated below. Skins shall be fiberglass bonded to manufacturer's standard, insulated core. Door sills shall be low-profile.
a. Doors capable of resisting impact from windborne debris, when tested in accordance with ASTM E1886 and ASTM E1996.
b. U-Factor: 0.32 in accordance with NFRC 100
c. SHGC: 0.30
3. Fiberglass Windows bearing a limited lifetime warranty for materials and workmanship and a 25 year warranty for glazing meeting performance requirements as indicated below. Install windows in accordance with manufacturer's instructions and as details on the Drawings. Provide manufacturer's standard insect screens and operating hardware.
a. Product Standard: AAMA/WDMA/CSA 1011.1 S.2/A440
b. U-Factor: 0.60
c. Solar Heat Gain Coefficient: 0.22 maximum.
d. Protection of Openings: meet requirements of the Large Missile Test ASTM E 1996 and ASTM E 1886.

INTERIOR FINISHES NOTES:

- 1. All walls and ceilings are to receive 1/2-inch gypsum board except behind shower and tub enclosures: install cementitious backer units. Chinese gypsum board is not allowed on project site.
2. Provide metal corner reinforcing, typical.
3. Tape, float and sand to a Level 4 finish typical.
4. At all bathrooms and laundry areas, install ceramic floor tile over cementitious backer units using thin-set mortar application; all adjacent walls shall receive tile wale base coordination with floor tile.
5. Provide wood transition strips at all tile-to-wood flooring transitions.
6. At all bedrooms, kitchens and living areas, install pre-finished wood laminate flooring free of urea formaldehyde that complies with one of the following:
a. Extracted, harvested, or recovered wood.
b. FSC Certified wood.
7. Paint all walls and wood trim with a low-VOC latex paint system. Sheen to be flat unless indicated otherwise below.
a. Paint sheen on all bathroom walls and ceilings to be semi-gloss.

CASEWORK NOTES:

- 1. All kitchen casework shall meet KCMA A161.1 quality standards. Provide standard frameless door and drawer. Exposed cabinet finish shall be manufacturer's standard wood veneer; cabinet interior finish shall be thermostat decorative panels.
2. Provide economy-grade plastic-laminate-clad. Core material shall be 1/2-inch exterior-grade plywood; high-pressure decorative laminate shall be general purpose and or post-forming type.

SPECIALTIES NOTES:

- 1. Provide polished chrome-plated brass private use bathroom accessories as follows: Surface mounted, single-roll toilet tissue dispenser, 1-inch diameter shower curtain rod, single prong unit robe hook, 24-inch long towel bar.
2. Provide vinyl-coated ventilated shelving at all closets; 5/8-inch to 1-inch incremental cross-deck spacing including wall clips, end brackets, support brackets, poles, standards, shelf brackets and pole clips as required for complete installation. Install one shelf per closet at 54-inches high, typical.

EQUIPMENT NOTES:

- 1. Gas Range: 30-inch freestanding range with one oven(s). GE JGBS60DEKWW or similar.
a. Gas Burners:
b. Material: Porcelain-enamelled steel with manufacturer's standard cooktop.
c. Controls: Front Mounted.
2. Over-range Microwave Oven: Wall Mounted. GE JNM3161RFSS or similar.
a. Exhaust Fan: Built into hood and vent to exterior.
b. Finish: Baked enamel.
3. Refrigerator/Freezer: Freestanding, refrigerator/freezer. GE GTE18GTHWW or similar.
4. Dishwasher: Built-in, adjustable height. GE GDF620HGJWW or similar.
a. Front Panel: Manufacturer's Standard.
5. Clothes Washer: Freestanding, front-loading type with impeller agitator (without spindle). GE GTW485ASJWS or similar.
a. ENERGY STAR labeling.
b. Front Panel: Manufacturer's standard.
c. Plumbed Drain pan.
6. Clothes Dryer: Freestanding type. GE GTD65EBSJWS
a. Type: Gas Unit.
b. Front Panel: Manufacturer's standard.
7. Warranties, General: Manufacturer's standard form in which manufacturer of each appliance specified agrees to repair or replace residential appliances or components that fail in materials or workmanship within specified warranty period.
a. Gas Range: Five-year limited warranty for in-home service on surface-burner elements.
b. Microwave Oven: Five-year limited warranty for in-home service on defects in magnetron tube.
c. Refrigerator/Freezer: Five-year limited warranty for in-home service on the sealed refrigeration system.
d. Dishwasher: 10-year warranty for in-home service against deterioration of tub and door liner.
e. Clothes Washer: 10-year limited warranty for in-home service on the inner wash basket and outer tub, and five-year limited warranty for in-home service on the balance suspension system and drive transmission.

MECHANICAL NOTES:

All mechanical work is to be performed by an Energy Star certified and a licensed mechanical contractor in accordance with these documents and the applicable codes and local regulations.

Mechanical contractor to coordinate the location of all HVAC components and equipment with the general contractor and the adjacent construction systems.

Mechanical contractor to be responsible for equipment sizing, control sequencing, duct sizing, installation, and miscellaneous components to ensure proper system operation in accordance with these documents and operational intent expressed herein. Proved Manual "V" sizing calculation in accordance with HERS rating and certification requirements.

All equipment to be installed per manufacturer's recommendations.

Kitchen hood exhaust fan to be 200 CFM and , if not integrated with range, 5 ACH based on kitchen volume. Each bathroom exhaust fan to be 100 CFM.

Mechanical contractor to provide a balanced supply and air return system in accordance with current applicable codes.

System Description: Split system heat pump, SEER 14-16, single stage heat pump, air handler to have a minimum of 3 fan speeds or a variable speed mounted horizontally in attic, duct distribution system routed in attic, diffusers to be ceiling mounted. Energy recovery ventilator (ERV) exhausting air from both restrooms (20cfm min. each) and kitchen while supplying fresh air in ceiling near the return air grille.

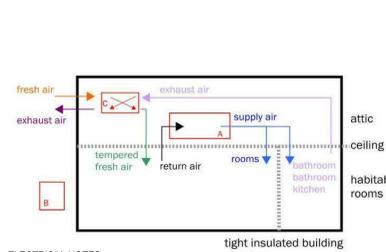
Air changes to comply with ASHRE 62.2 calculation approximately 65 cfm continuous.

Heat Pump size: 2.5 tons

Basis of Design System:
Heat Pump: Goodman GSZ
Air Handler: Goodman ARUF
Energy Recovery Ventilator: Clean Comfort VE30100

Sequence of Operation: Heat pump system to be tied to a programmable thermostat. ERV system to have independent controller that allows constant operation even with Heat Pump system turned off.

System Diagram:



OHIP Single Family House HVAC Design

EQUIPMENT INDEX

- A: Air Handler
B: Heat Pump
C: Energy Recover Ventilator

ELECTRICAL NOTES:

GENERAL REQUIREMENTS: ALL LIGHT FIXTURES SHALL BE FURNISHED WITH SCREW-TYPE A LAMP COMPATABLE LED BULBS. REFER TO REFLECTED CEILING PLAN FOR LIGHTING LAYOUT AND SWITCHING. PROVIDE ELECTRICAL OUTLETS AND SMOKE DETECTORS COMPLYING WITH REFERENCED BUILDING AND ELECTRICAL CODES.

- 1. Ceiling Fan: Hampton Bay Holly Springs 52 in. Indoor Brushed Nickel Ceiling Fan.
2. Decorative Surface Mounted Fixture:
a. Interior: Commercial Electric 2-Light Brushed nickel flush mount.
3. Recessed Can: 6-inch White Recessed Lighting Housings and Trims.
4. Wall-Mounted Fixture:
a. Interior: Hampton Bay 3-Light Brushed Nickel Bath Bar Light
b. Exterior: Home Decorators Collection, Brushed Nickel Outdoor LED Sconce, Model #HB7083-35

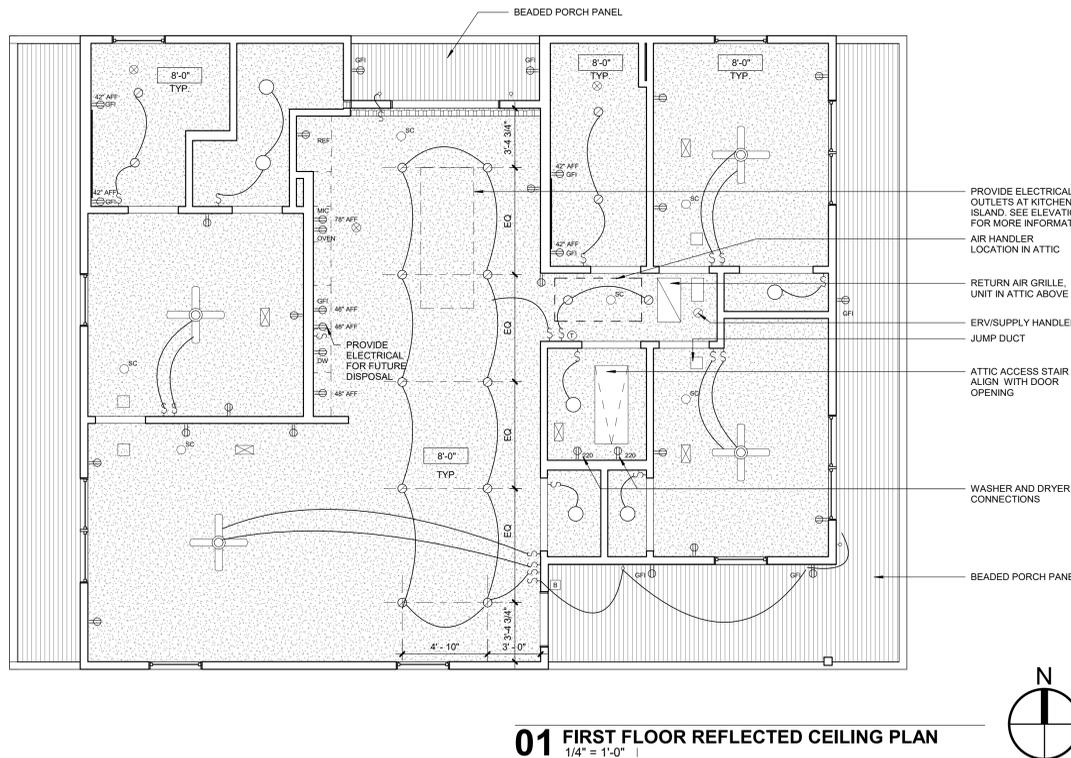
PLUMBING NOTES:

GENERAL REQUIREMENT: ALL PLUMBING PIPING SHALL BE CONTAINED INSIDE THE THERMAL ENVELOPE. NO PIPING SHALL RUN BENEATH THE FLOOR.

Exception: Portion of piping connecting water supply from the street to the house, which shall be insulated using Armaflex with UV coating.

ALL HOT WATER PIPING INSULATION LEVELS TO COMPLY WITH IRC 2015 AND IECC 2015.

- 1. Bathtubs: FRP, with shower.
a. Size: 60 x 30 inches with front apron.
b. Integral FRP Surround: Smooth-wall design fully backed for grab bars.
2. Bath tub Faucets: Single handle, pressure balance, thermostatic, brushed nickel:
a. Mounting: Concealed
b. Operation: Single Handle, twist or rotate control with hot and cold-water indicators.
c. Anti-scald Device: Integral with mixing valve.
d. Shower Head: Ball joint and head integral with mounting flange.
e. Shower Arm: Flow-Control Fitting, 1.5 gpm.
3. Lavatories: Vitreous china, self-rimming, built into vanity.
4. Lavatory Faucets: Two-handle deck-mount.
a. Body Material: General duty, solid brass.
b. Finish: brushed nickel.
c. Maximum Flow Rate: 1.5 gpm (5.7 L/min.)
d. Valve Handle(s): Lever.
e. Drain: Pop up.
5. Shower Faucets: Single handle, pressure balance, thermostatic, brushed nickel.
a. Mounting: Concealed
b. Operation: Single Handle, twist or rotate control with hot and cold-water indicators.
c. Anti-scald Device: Integral with mixing valve.
d. Shower Head: Ball joint and head integral with mounting flange.
e. Shower Arm: Flow-Control Fitting, 1.5 gpm.
6. Kitchen Sinks: Two bowl, counter mounted, 18 gauge type 302 stainless steel.
a. Overall Dimensions: 33-inch x 21 1/4-inch x 5 1/2-inch deep.
7. Sink Faucets: Solid brass, kitchen sink.
a. Finish: Brushed Nickel
b. Maximum Flow Rate for Sink Faucets: 1.5 gpm (5.7 L/min.)
c. Mixing Valve: Single Control
d. Backflow-Prevention Device for Hand Spray: Required.
e. Centers: 8 inches (203 mm)
8. Water Closets: Floor mounted, floor outlet, close coupled (gravity tank), vitreous china. American Standard Cadet 3 or similar.
9. Water Heater:
a. Exterior mounted high efficiency tankless gas condensing
b. Energy factor: UEF >0.92
10. Toilet Seats: Elongated, plastic, closed front with cover, plastic hinges.



01 FIRST FLOOR REFLECTED CEILING PLAN
1/4" = 1'-0"

ESKEW+DUMEZ+RIPPLE

365 CANAL STREET, SUITE 3150
NEW ORLEANS, LOUISIANA 70130

CLARIFICATION OF SYMBOLS
REFLECTED CEILING PLAN

- 1. CONTRACTOR SHALL VERIFY AND COORDINATE THE LOCATION OF ALL FIXTURES/DEVICES INDICATED WITH THE MECHANICAL, ELECTRICAL, PLUMBING, SPRINKLER, ALARM AND SPECIAL DEVICES. NOTIFY ARCHITECT OF DISCREPANCIES/ CONFLICTS.
2. THE LOCATION OF ALL DEVICES TO BE INSTALLED IN FLOORS, ON WALLS AND CEILINGS, ASSOCIATED WITH MECHANICAL, ELECTRICAL, FIRE PROTECTION, SECURITY, AND OTHER SUCH SYSTEMS INCLUDING ACCESS PANELS, NOT SPECIFICALLY INDICATED ON THE DRAWINGS BUT PART OF THE CONSTRUCTION CONTRACT, SHALL BE APPROVED BY THE ARCHITECT. FAILURE TO RECEIVE APPROVAL, SHALL BE CAUSE FOR REMOVAL AND RELOCATION AT NO COST TO THE OWNER.
3. ALL SYMBOLS APPEARING IN THIS LISTING MAY NOT NECESSARILY BE SHOWN ON REFLECTED CEILING PLAN OR BE APPLICABLE TO THIS PROJECT.

- GYPSUM BOARD CEILING
DUPLEX OUTLET, 12" AFF UNLESS OTHERWISE NOTED
GROUNDED DUPLEX OUTLET, STANDARD HEIGHT
SPECIAL PURPOSE OUTLET
SINGLE POLE SWITCH, 48" AFF UNLESS OTHERWISE NOTED
SMOKE/CARBON MONOXIDE DETECTOR
DOOR BELL
THERMOSTAT
CELLING FAN 150W INCANDESCENT
6" RECESSED DOWNLIGHT
SURFACE MOUNT LIGHT FIXTURE
LIGHT SCONCE
RETURN VENT
SUPPLY VENT
ERV EXHAUST
ERV SUPPLY

- PROVIDE ELECTRICAL OUTLETS AT KITCHEN ISLAND. SEE ELEVATIONS FOR MORE INFORMATION.
AIR HANDLER LOCATION IN ATTIC
RETURN AIR GRILLE, UNIT IN ATTIC ABOVE
ERV/SUPPLY HANDLER JUMP DUCT
ATTIC ACCESS STAIR ALIGN WITH DOOR OPENING
WASHER AND DRYER CONNECTIONS

5114 FELICIANA / 5142 FELICIANA / 5159 MONTEGUT

5114 FELICIANA DR, 5142 FELICIANA DR, 5159 MONTEGUT DR NEW ORLEANS, LA 70126

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PROJECT ISSUE DATE | 9 JAN 2019

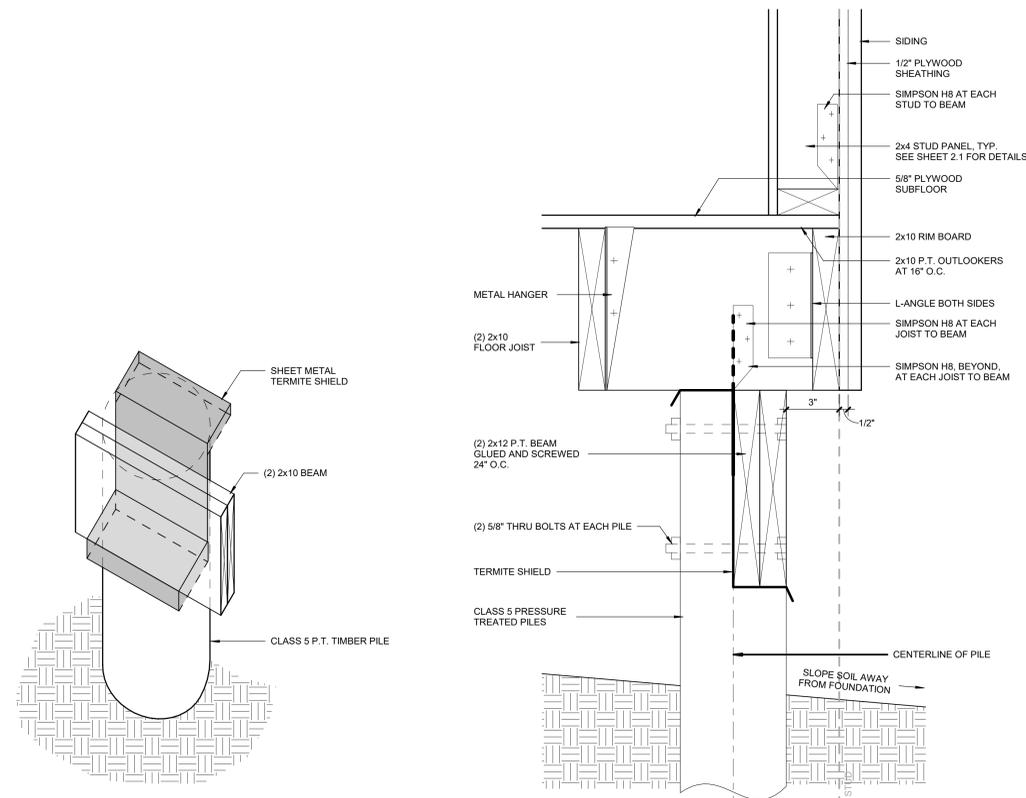


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A Professional Corporation

The intent of the Contract Documents is to include all items necessary for proper execution and completion of the work by Contractor. The Contract Documents are complementary, and what is required by one shall be as binding as if required by all; performance by the Contractor shall be required only to the extent consistent with the Contract Documents and reasonably inferable from them as being necessary to produce the indicated results.

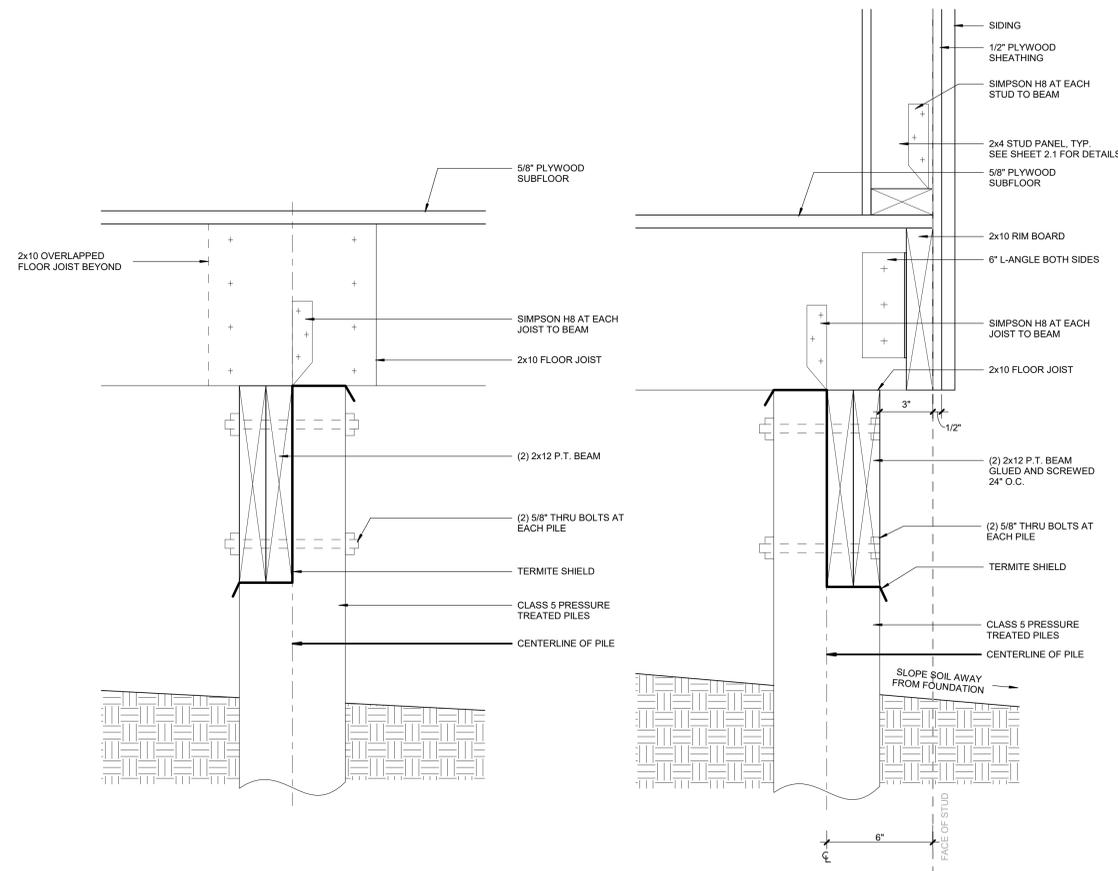
REVISIONS

FIRST FLOOR PLAN - REFLECTED CEILING



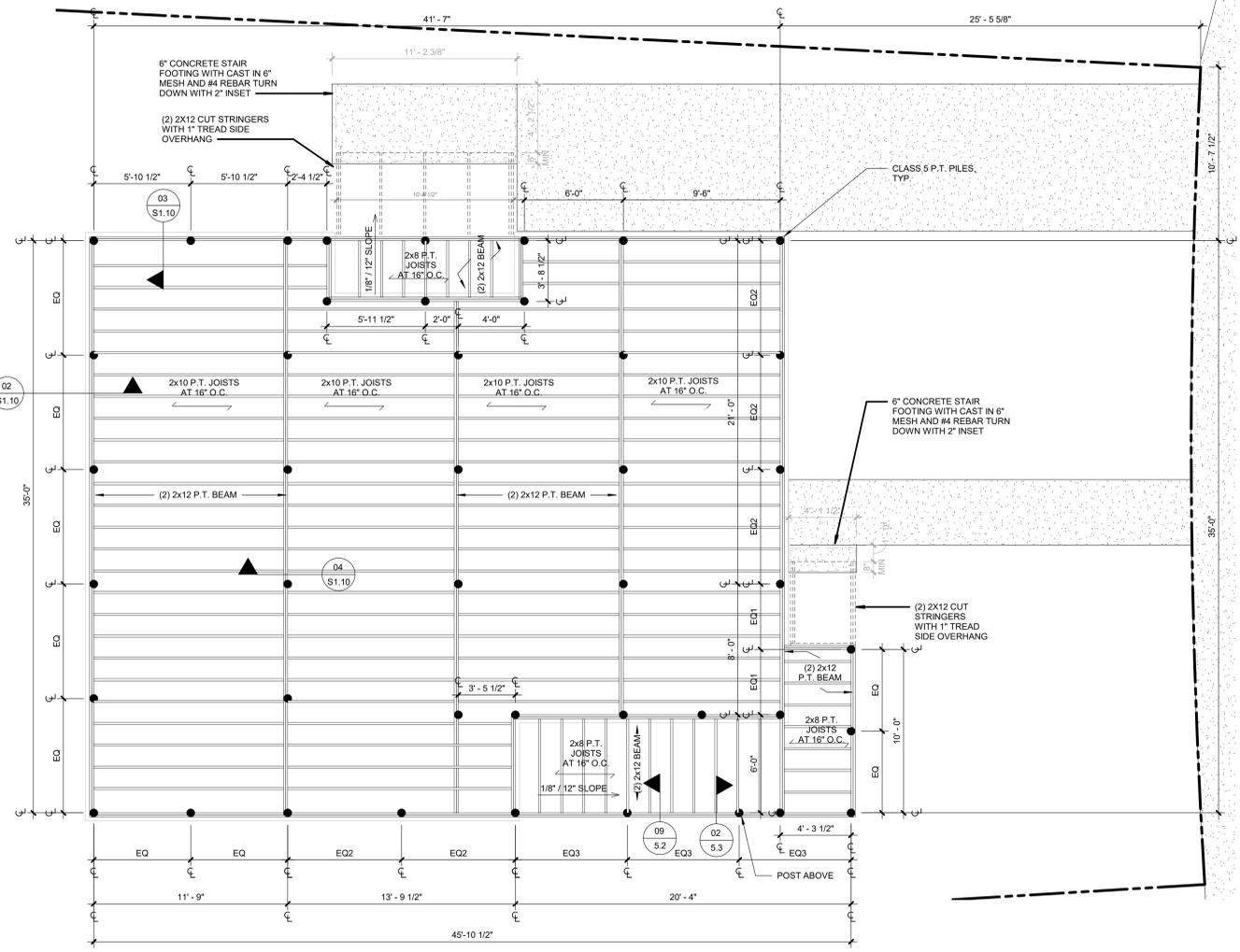
05 AXON - TERMITE SHIELD
S1.10 | 3" = 1'-0"

03 SECTION THRU JOIST PARALLEL TO BEAM
S1.10 | 3" = 1'-0"



04 SECTION THRU JOISTS @ INTERIOR BEAM
S1.10 | 3" = 1'-0"

02 SECTION THRU JOISTS PERPENDICULAR TO BEAM
S1.10 | 3" = 1'-0"



01 FIRST FLOOR FRAMING PLAN - 5114 FELICIANA
S1.10 | 1/4" = 1'-0"

GENERAL NOTE:
ALL PILES TO BE CLASS 5 AND PRESSURE TREATED

5114 FELICIANA / 5142 FELICIANA / 5159 MONTEGUT

5114 FELICIANA DR, 5142 FELICIANA DR, 5159 MONTEGUT DR NEW ORLEANS, LA 70126
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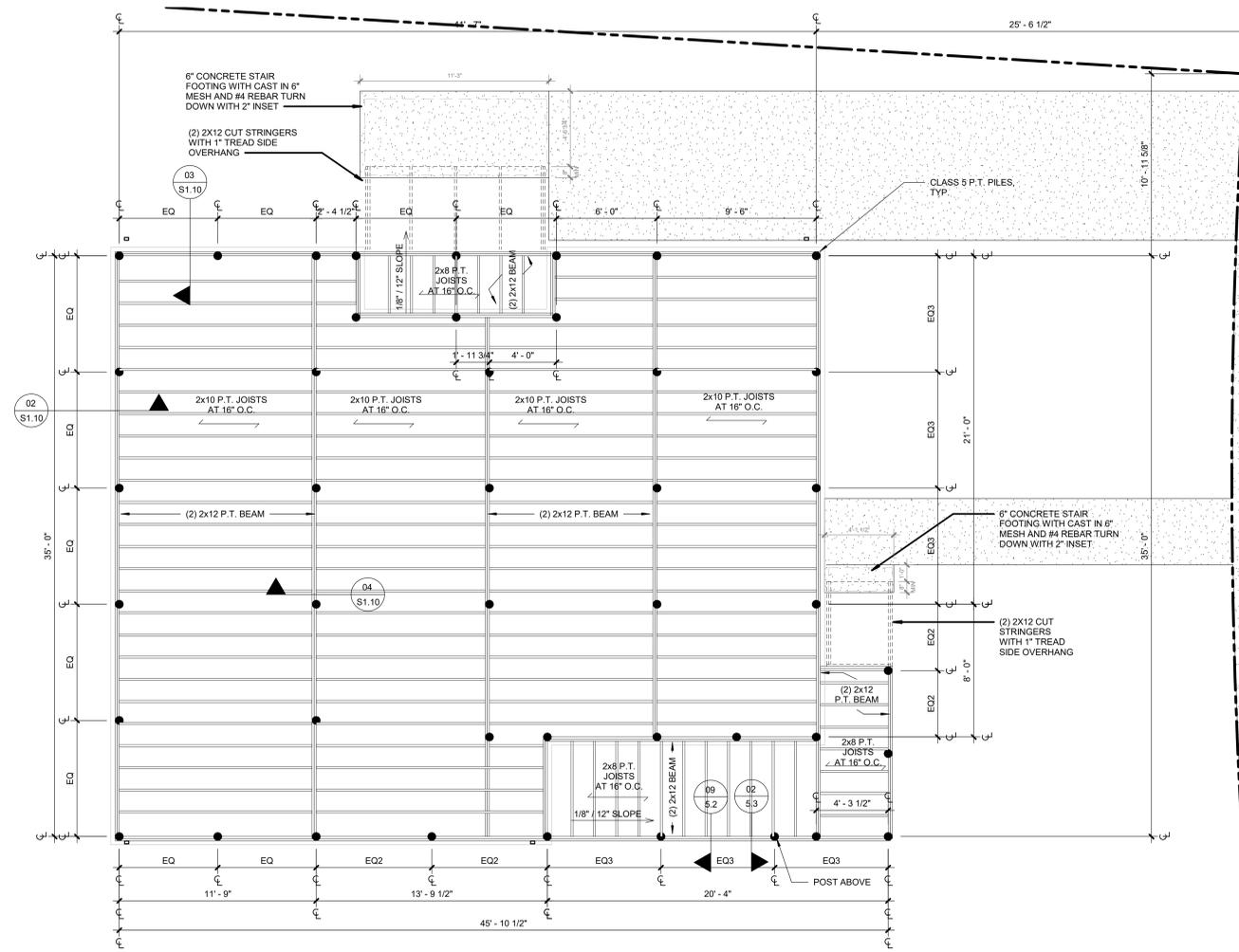
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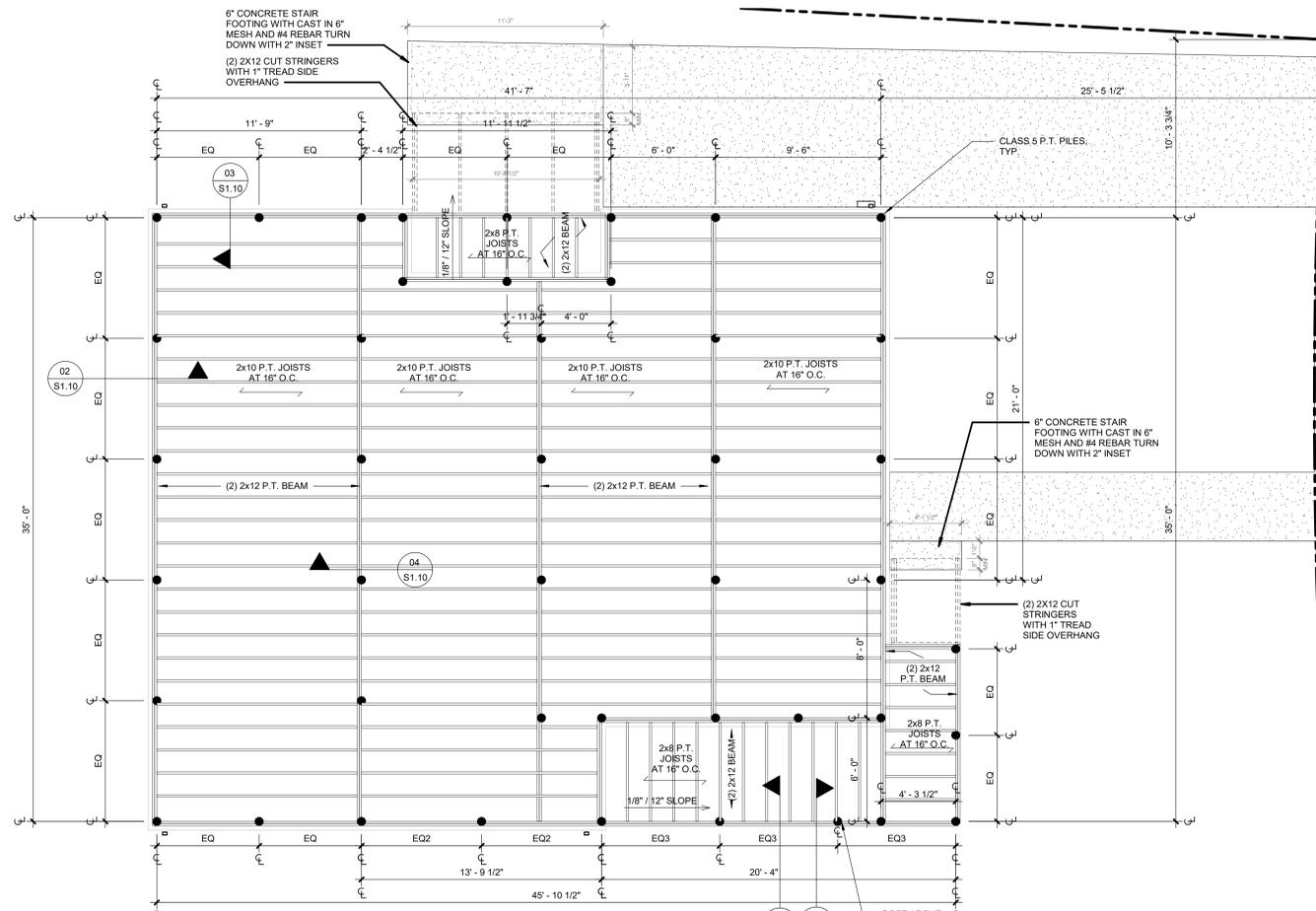
REVISIONS

FRAMING



02 FIRST FLOOR FRAMING PLAN - 5159 MONTEGUT

5.1 | 1/4" = 1'-0" |



01 FIRST FLOOR FRAMING PLAN - 5142 FELICIANA

5.1 | 1/4" = 1'-0" |

5114 FELICIANA / 5142 FELICIANA / 5159 MONTEGUT

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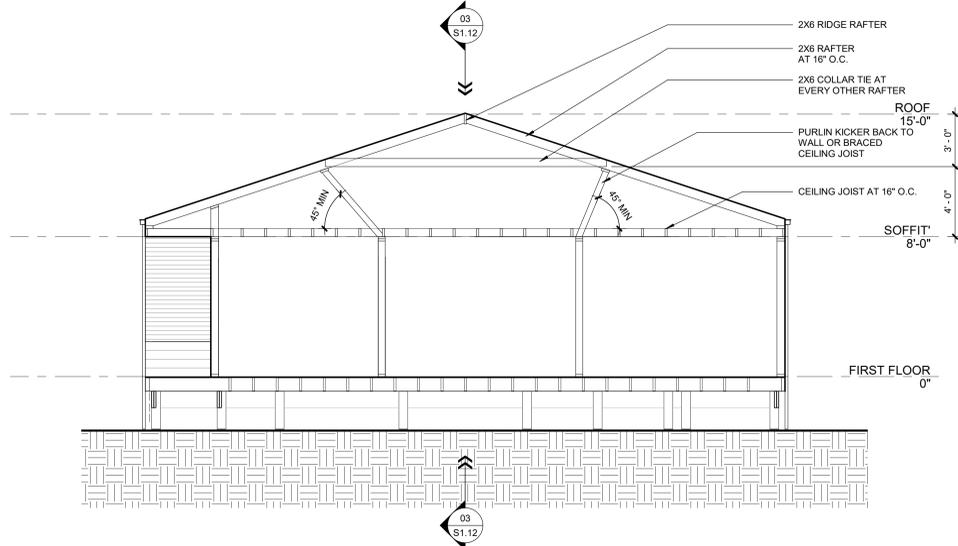
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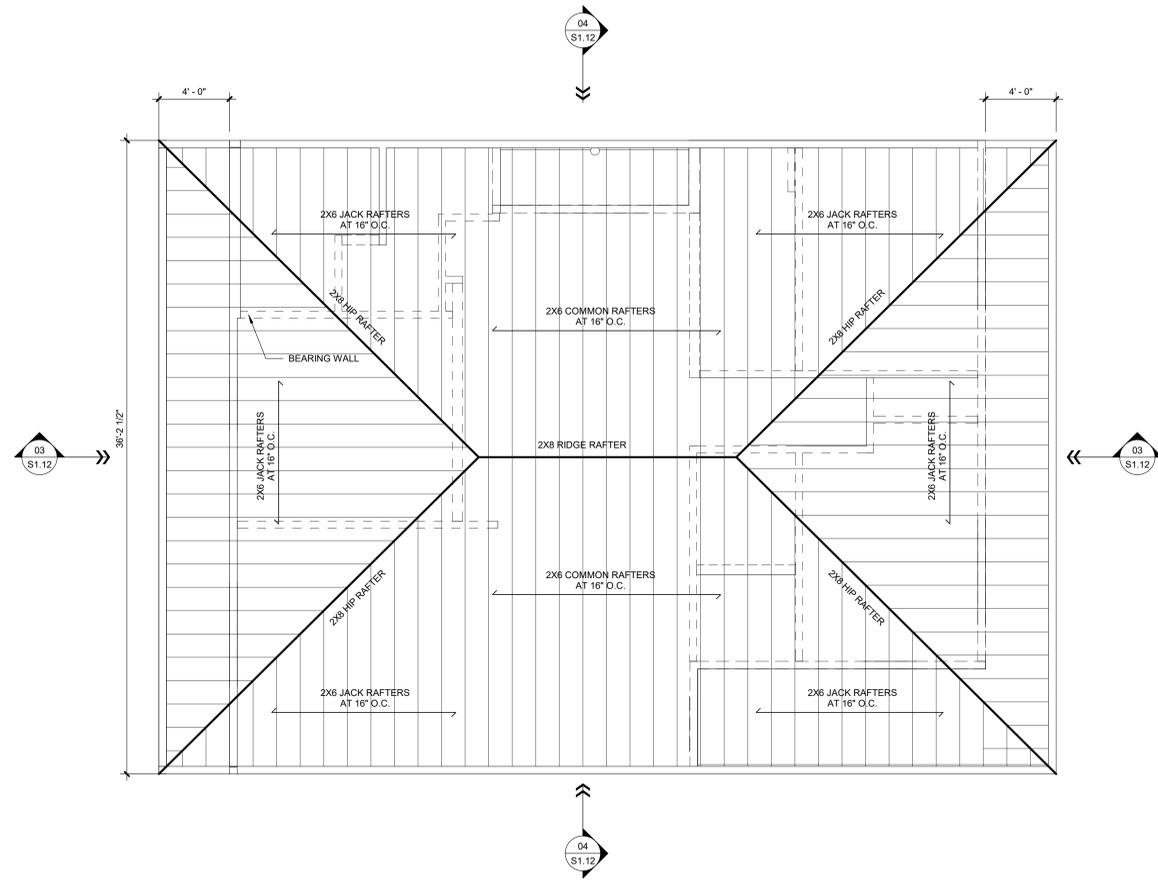
FRAMING

GENERAL NOTES

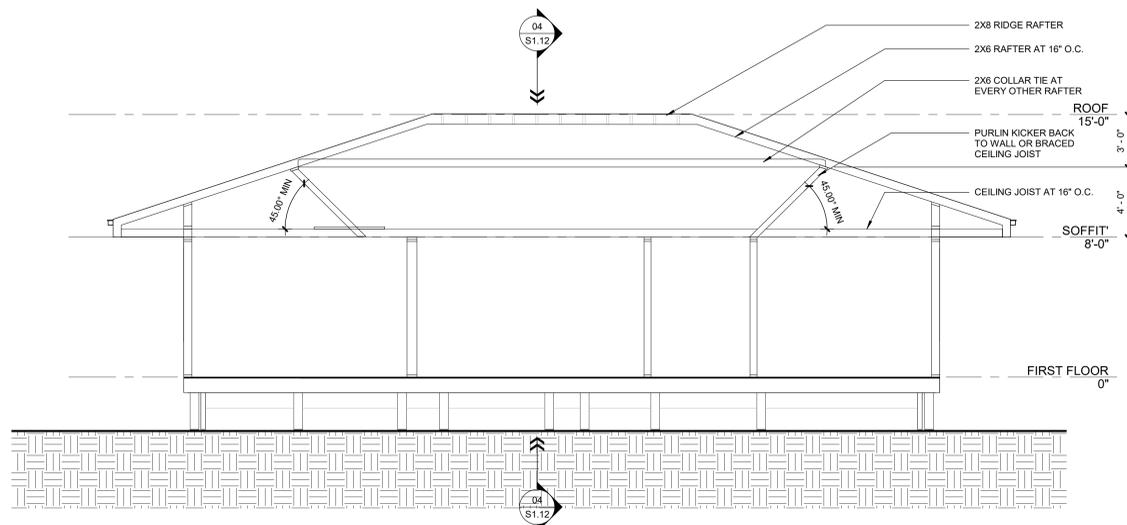
- 2X6 COLLAR TIE TO BE PLACED AT 1/3 TO 1/2 OF ROOF LENGTH BELOW RIDGE RAFTER
- BLOCKING, BRACING, RAFTER BRACING, AND COLLAR TIES NOT SHOWN ON PLANS FOR CLARITY. REFER TO SECTIONS AND DETAILS.



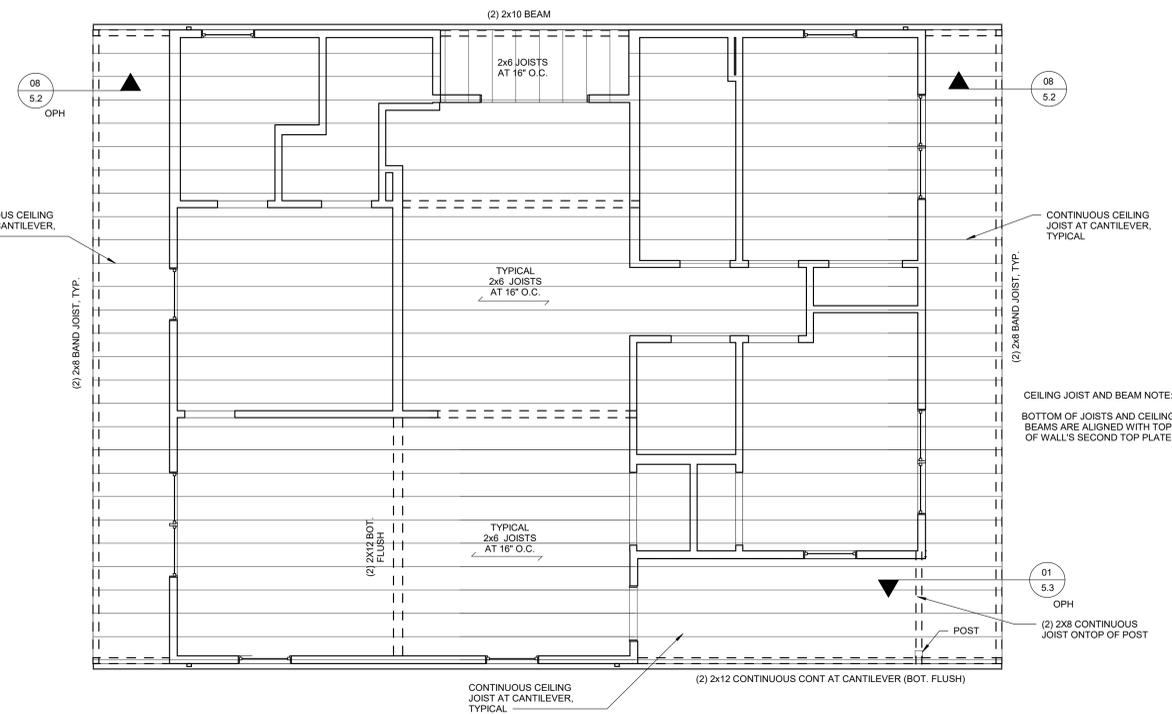
04 SCHEMATIC SECTION OF STRUCTURE
S1.12 | 1/4" = 1'-0"



02 ROOF FRAMING PLAN
5.1 | 1/4" = 1'-0"



03 SCHEMATIC SECTION OF STRUCTURE 2
2.1 | 1/4" = 1'-0"



01 CEILING FRAMING PLAN
5.1 | 1/4" = 1'-0"

5114 FELICIANA / 5142 FELICIANA / 5159 MONTEGUT

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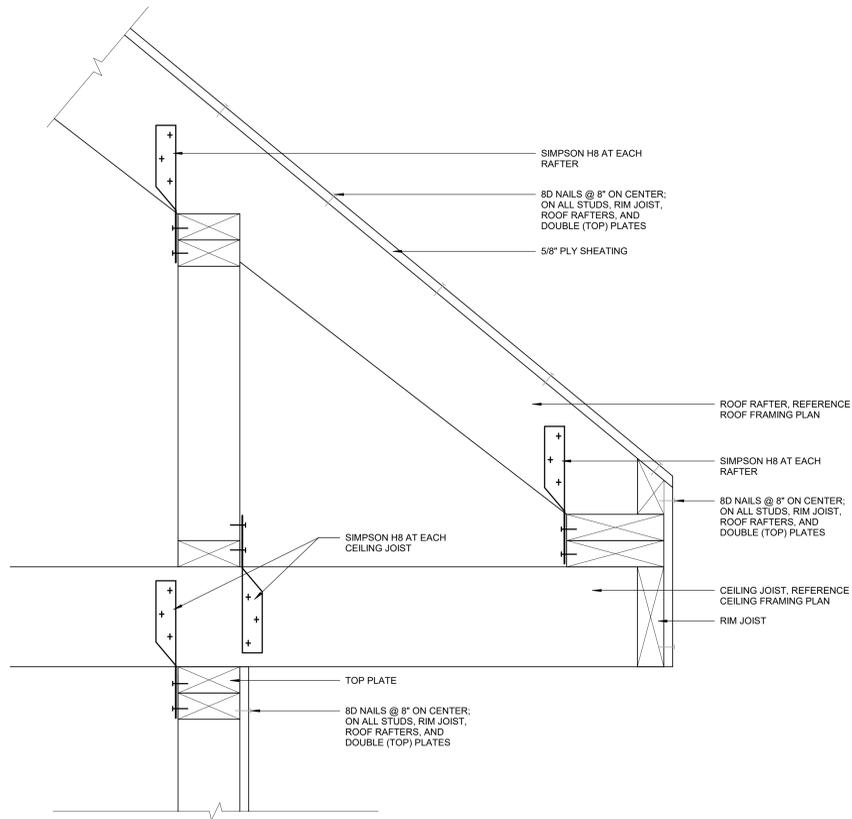
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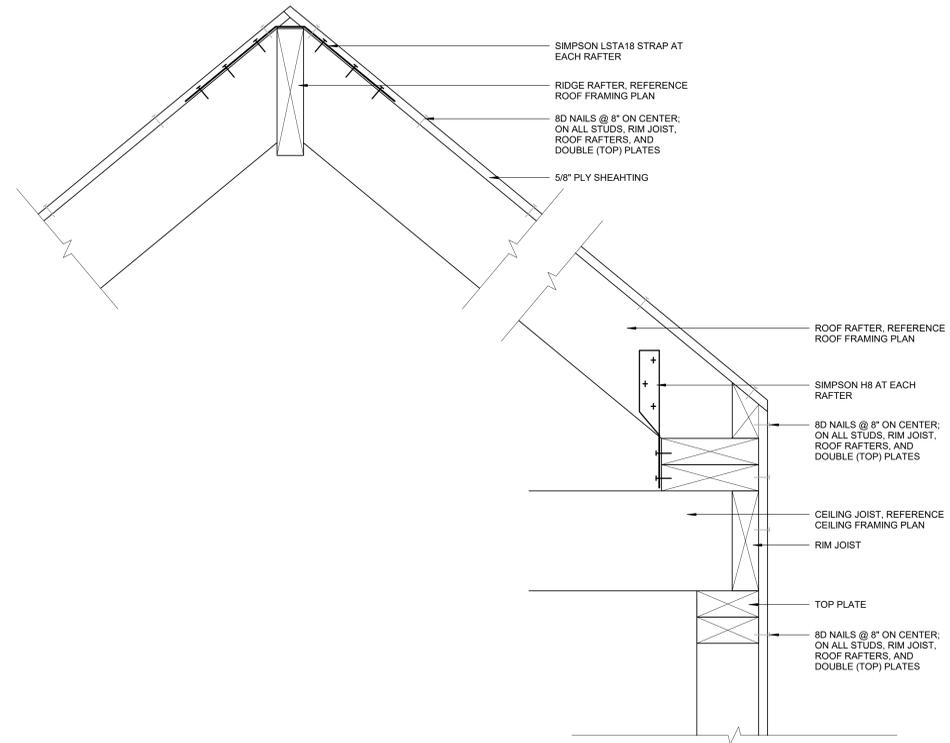
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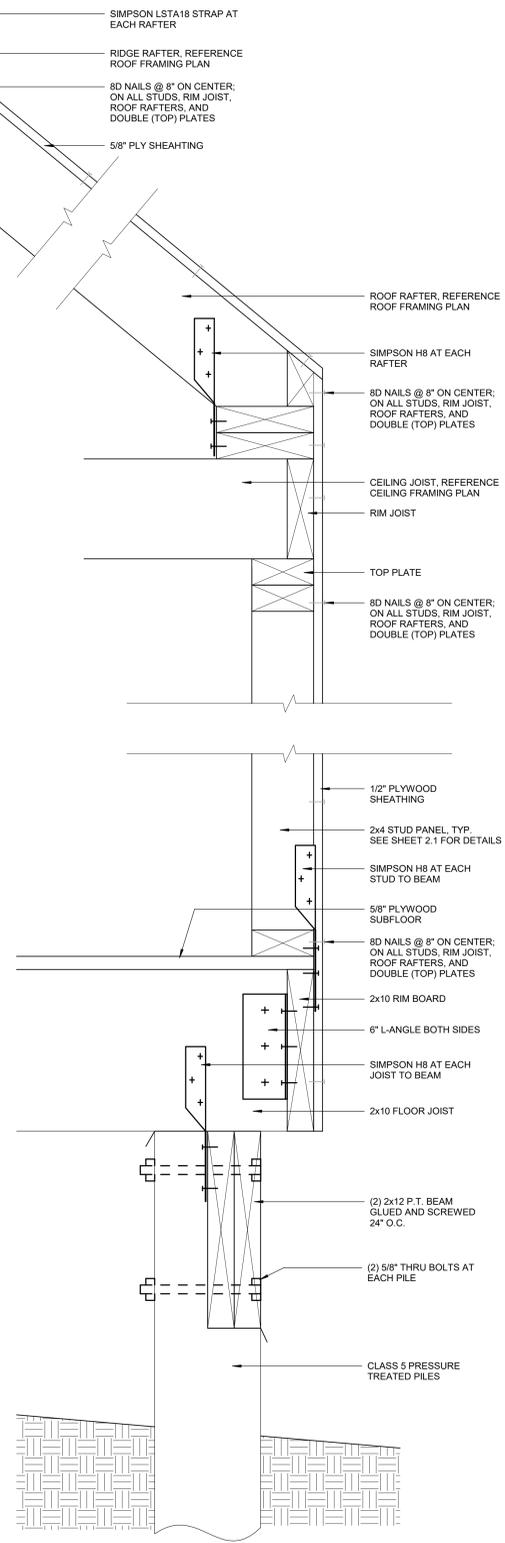
ROOF FRAMING



2 LOAD DIAGRAM
3" = 1'-0"



1 LOAD DIAGRAM
3" = 1'-0"



5114 FELICIANA / 5142 FELICIANA / 5159 MONTEGUT

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REVISIONS

LOAD DIAGRAM